

CITY OF TEMPE DEVELOPMENT REVIEW COMMISSION

Meeting Date: 5/22/2018

Agenda Item: 4

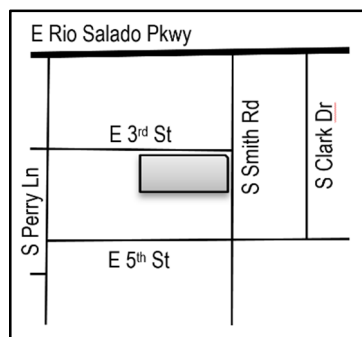
ACTION: Request a Planned Area Development Overlay; a Use Permit to allow vehicle sales (indoor) in GID zoning district; and a Development Plan Review for a new 3-story, 252,335 square-foot industrial building for PRECISION FLEET SERVICES, located at 360 South Smith Road. The applicant is Cawley Architects.

FISCAL IMPACT: While this ordinance change does not directly impact revenue, the planned development will result in collection of the standard development fees, calculated according to the approved fee structure at the time of permit issuance.

RECOMMENDATION: Approve, subject to conditions

BACKGROUND INFORMATION: PRECISION FLEET SERVICES (PL180002) is a 266,485 square-foot industrial building consisting of approximately 14,150 square-feet of two-story office and 252,335 square-feet of three-story garage/warehouse (237,366 square-feet enclosed) on 3.69 acres located on the southwest corner of East 3rd Street and South Smith Road in the GID, General Industrial District. On August 8, 2017, the Development Review Commission approved a Use permit to allow vehicle sales (indoor) and a Development Plan Review for a new industrial development consisting of 161,168 square-feet of above and below ground warehouse/garage and 13,106 square-feet of two-story office for Precision Feet Services (PL160420). The owner and site remain the same but the development has been re-designed. This request includes the following:

PAD180005	Planned Area Development Overlay for the modification of development standards to allow for a maximum building height increase from 35 feet to 55 feet to the top of parapet screening.
ZUP180025	Use Permit to allow vehicle sales (indoor).
DPR180031	Development Plan Review including site plan, building elevations, and landscape plan.



Existing Property Owner	309 South Perry LLC
Applicant	Christopher Norstrom, Cawley Architects Inc.
Zoning District	GID
Gross / Net site area	4.25 acres / 3.62 acres
Total Building Area	89,578 s.f.
Lot Coverage	57% (No maximum required)
Building Height	55' (35' maximum allowed)
Building Setbacks	25' front, 25' street side, 33' south side, 72' rear, 20' parking (25', 25', 0', 0', 25' min.)
Landscape area	19.8% (10% minimum required)
Vehicle Parking	113 spaces (113 min. required, 141 max allowed)
Bicycle Parking	8 spaces (8 min. required)

ATTACHMENTS: Development Project File

STAFF CONTACT(S): Lee Jimenez, Senior Planner (480) 350-8486

Department Director: Chad Weaver, Community Development Director

Legal review by: N/A

Prepared by: Lee Jimenez, Senior Planner

Reviewed by: Suparna Dasgupta, Principal Planner

COMMENTS:

This site is located south of East 3rd Street and west of South Smith Road. The adjacent zoning surrounding the site consists solely of GID, General Industrial District.

Existing entitlements for this property that will remain in effect are: none.

Existing uses on the site include: vehicle parking and access.

This request includes the following:

1. Planned Area Development
2. Use Permit
3. Development Plan Review which includes: a new 266,485 square-foot industrial building consisting of approximately 14,150 square-feet of two-story office and 252,335 square-feet of three-story garage/warehouse (237,366 square-feet enclosed) on 3.69 net acres.

The applicant is requesting the Development Review Commission take action on item two listed above, and provide recommendations to City Council for items one and three listed above.

For further processing, the applicant will need approval for a Subdivision Plat to combine the parcels adjacent to the west (Parcel Nos. 132-38-008N and -008K) and to move the western lot line of the new development (Parcel No. 132-38-008M).

SITE PLAN REVIEW

This project was processed through one preliminary and one formal site plan review. The following requirements and recommendations were requested by staff and noted by the applicant:

- Site Plan
 - Fire Department asked for the fire department connection to be provided at the main entry side of the building within 150' of a fire hydrant and locate a fire hydrant at the main entrance to service the fire department connection. The applicant accommodated.
 - Transportation Division – Traffic asked for 6 feet wide sidewalks on both 3rd Street and Smith Road and upgrading of ADA ramps on the southwest corner of 3rd Street and Smith Road. In addition, the vehicle gates located at the 3rd Street driveway should be setback at least 60 feet behind the sidewalk. The applicant accommodated.
 - Planning Division requested that S.E.S. cabinets be internalized. The applicant accommodated.
- Building Elevations
 - Planning Division recommended the applicant pursue a Planned Area Development Overlay and Development Plan Review for the building height increase rather than a Variance since there is no evidence of a special circumstance. The applicant accommodated.
 - Planning Division recommended providing windows along the perimeter of the intermediate warehouse/garage level. The applicant accommodated.
 - Planning Division recommended aligning the perforated metal screening between the vertical architectural features on the north elevation of the garage/warehouse section. The applicant accommodated.
 - Planning Division recommended awnings along entire stretch of the first and second story office frontage. The applicant only provided awnings at the main entrance. At the very least, staff will condition providing awnings on the northeast corner of the office frontage.
 - Planning Division requested rooftop drains to be internally piped. The applicant accommodated.
- Landscape Plan
 - Planning Division recommended fifty (50) percent vegetative ground cover throughout the site. The applicant accommodated.
- Floor Plan
 - Planning Division recommended providing a minimum of two feet additional width for garage parking spaces when adjacent to an impeding column or continuous wall. The applicant accommodated.

PUBLIC INPUT

- Neighborhood meeting required.
- Neighborhood meeting held: April 11, 2018 from 6:00 p.m. to 7:00 p.m. at Precision Fleet Services, located at 1941 East 3rd Street.
- See attached summary of meeting provided by the applicant, (Attachment 18-19).
- Community Development staff attended the meeting.

PROJECT ANALYSIS

CHARACTER AREA PLAN

The project is located in the Apache Character Area which encourages projects that recognize the diversity of the community, are unique, provide appropriate transitions between existing neighborhoods and new developments, engage pedestrians, and create destinations through mixed-use design and public amenities. The area has a diverse range of architecture and design styles such as mission revival, mid-century modern, post-modern, Spanish colonial revival, and contemporary/mildly modern, and territorial revival. Although the proposed project does not lend much to the character area plan, the site is surrounded by industrial design and uses and not located within highly traveled (pedestrian and vehicular) commercial corridors within the character area. Nonetheless, the proposed development will comply with the following character area principles:

- **Architecture and Design:** The proposed building is considered contemporary or mildly modern, similar to the Thew School and Tempe Police Apache substation designs in regards to its shape, mass, and use of glass and colors.
- **Shade:** Large window areas are provided along the main entry for the building but are screened with steel tube screening; only a few windows on the east elevation do not have shade treatment; however, the remaining windows are shaded by a cantilevered roof.
- **Landscape Treatments:** The landscape palette does not borrow much from the character area plan, only providing one equivalent species of tree and shrub from the historic plant palette. However, the palette does provide non-invasive, drought-tolerant plants which promote water conservation.

PLANNED AREA DEVELOPMENT

PRECISION FLEET SERVICES – PAD Overlay				
Standard		GID	PROPOSED GID (PAD)	Change
Residential Density (du/ac)		None	None	-
Building Height (feet) [Exceptions, see Section 4-205(A)]				
Building Height Maximum		35 ft.	55 ft.	Increase
Building Height Step-Back Required Adjacent to SF or MF District [Section 4-404, Building Height Step-Back]		Yes	Yes	
Maximum Lot Coverage (% of net site area)		No Standard	No Standard	-
Minimum Landscape Area (% of net site area)		10%	10%	-
Setbacks (feet) (a) [Exceptions, see Section 4-205(B)]				
Front		25 ft	25 ft	-
Parking		20 ft	20 ft	
Side		0 ft	0	
Rear		0 ft	0	
Street Side		25 ft	25 ft	
Parking		20 ft	20 ft	
Vehicle Parking (Office & Warehouse/Garage)		Office (1/300 s.f.)	Office (1/300 s.f.)	-
		Warehouse (1 st 10,000 s.f. of warehouse at 1/500 s.f. + 1/5,000 s.f. for remaining warehouse)	Warehouse (1 st 10,000 s.f. of warehouse at 1/500 s.f. + 1/5,000 s.f. for remaining warehouse)	

Bicycle Parking (Office & Vehicle Sales)		Office (1/8,000 s.f.) Vehicle Sales (4 spaces)	Office (1/8,000 s.f.) Vehicle Sales (4 spaces)	-
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The building height maximum is being increased from 35 feet to 55 feet to maximize the presentation, storage and effective sales of vehicles. No other standards are being considered for increases or decreases, including parking.

Section 6-305 D. Approval criteria for P.A.D. (*in italics*):

1. *The development fulfills certain goals and objectives in the General Plan and the principles and guidelines of other area policy plans. Performance considerations are established to fulfill those objectives;* the lot is zoned GID and is located in the heart of a very large, consistently zoned, industrial area between Rio Salado Drive to the north, University Drive to the south, McClintock Drive to the west and the Loop 101 to the east. The overlay will allow the development of new construction and growth which is a key component of the Tempe General Plan 2040 and supports the principle for economic vitality to support development efforts and promote sustained economic growth throughout the City. Furthermore, pro-business policies are essential for retaining existing jobs and attracting new ones. Economic vitality and jobs within the community and for all segments of the community allow businesses, residents and individuals to thrive.
2. *Standards requested through the PAD Overlay district shall take into consideration the location and context for the site for which the project is proposed;* the property is zoned GID and surrounded by GID zoned properties, each providing one and two-story facilities, several of which are close to 35 feet tall.
3. *The development appropriately mitigates transitional impacts on the immediate surroundings;* while the building itself is proposed taller than surrounding buildings, the street facing two-story office section is lower in height, matching adjacent two-story building heights while maintaining a consistent street elevation.

USE PERMIT

The proposed use requires a use permit, to allow vehicle sales (indoor) within the GID, General Industrial District. The dealership is a traditional car lot but offers online sales as well as wholesale sales to other dealers. Inventory is typically obtained through trade-ins, wholesale purchases from other dealers, and auctions. The dealership will operate Monday through Friday, from 9 a.m. to 6 p.m., and on Saturday from 9 a.m. to 4 p.m. It will employ office staff, mechanics, service and sales personnel, and administrative support. Currently there are approximately 30 individuals who work at Precision which is expected to increase by 50% with the expansion.

Section 6-308 E Approval criteria for Use Permit (*in italics*):

1. *Any significant increase in vehicular or pedestrian traffic;* there is little pedestrian traffic in the area and additional vehicle traffic is expected by the nature of the dealership, but the current road conditions and traffic flow should be sufficient to handle any increase in traffic.
2. *Nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat or glare at a level exceeding that of ambient conditions;* the proposed use will not create anything more than ambient conditions that currently exist.
3. *Contribution to the deterioration of the neighborhood or to the downgrading of property values, the proposed use is not in conflict with the goals objectives or policies for rehabilitation, redevelopment or conservation as set forth in the city's adopted plans or General Plan;* it is anticipated that the proposed use will increase surrounding property values.
4. *Compatibility with existing surrounding structures and uses;* the site and building design as well as the proposed uses are compatible with the surrounding area.
5. *Adequate control of disruptive behavior both inside and outside the premises which may create a nuisance to the surrounding area or general public;* the proposed use will result in very limited or nominal disruptive behavior at the property both inside and outside the property.

The manner of conduct and the building for the proposed use will not be detrimental to persons residing or working in the vicinity, to adjacent property, to the neighborhood, or to the public welfare in general, and that the use will be in full conformity to any conditions, requirement or standards prescribed therefore by this code.

DEVELOPMENT PLAN REVIEW

Site Plan

The new building will be positioned lengthwise along East 3rd Street and setback twenty-five (25) feet from 3rd Street and Smith Road. The parking lot will be located to the west and south of the new building, setback twenty-five (25) feet from the streets. The office section and main entrance will be located along Smith Road. The warehouse will primarily occupy the stretch of building along 3rd Street. New driveways will be provided from the west end of 3rd Street and the south end of Smith Road.

Building Elevations

The primary building material consists of painted tilt-up concrete panels. Architectural interest is primarily provided along the perimeter of the office section on Smith Road where four (4) tones of gray are applied to the façade. Horizontal and vertical reveal patterns are created within the concrete tilt panels to allow for color variation; vertical bands are used to reduce the horizontal length and provide undulation along the parapet. Large clear windows are provided at the two-story main entrance, adorned with metal awnings painted yellow, Precision Fleet Service's corporate color. Windows are provided along the perimeter of the office section on the first and second levels. Clerestory windows are provided throughout the perimeter of the garage/warehouse to offer natural daylight in to the building. The perimeter of the warehouse/garage has emergency exits approximately every tilt-up panel. Roll-up service bay doors are evenly distributed on the south elevation with one provided on the west. All doors will be painted to match the primary background. An extension of the parapet is provided to screen the upper level vehicle ramp on the north elevation. This portion of the tilt-up panels will be screened with perforated metal, painted to match the primary accent color.

Landscape Plan

Approximately 31,161 square-feet of landscape area will be provided, equating to a landscape coverage of 19.8%. Twenty-one (21) trees will be installed along the street frontage in addition to the nine (9) existing street trees. Parking lot landscape islands will each contain a tree and five (5) ground cover at the ends of each parking row as well as a minimum of one (1) tree per twelve (12) parking spaces in adjacent landscape areas. The landscape vegetation consists of three (3) species of trees and eight (8) ground covers. The tree palette consists of Desert Museum Palo Verde, Sissoo, and Swan Hill. Vegetative ground coverage throughout the site consists of Mexican Bird of Paradise, Orange Jubilee, Red Yucca, Desert Spoon, Baja Ruellia, Gold Mount Lantana, Trailing Rosemary, and Blue Elf Aloe. All landscape surfaces will be covered with half-inch Madison Gold decomposed granite, two inches deep. Three by three by three-foot granite boulders will accent the landscaped frontage areas.

Section 6-306 D Approval criteria for Development Plan Review (*in italics*):

1. *Placement, form, and articulation of buildings and structures provide variety in the streetscape*; the building is setback twenty-five (25) feet from the front and street side property lines, and provides variations in materials, colors, fenestration, and wall planes along the street frontage; more so along the exterior of the office section of the building. The primary orientation of the building facing Smith Road provides a logical point for the entry drive connecting with the surface parking on the south and continuing around the building to the second entry on 3rd Street.
2. *Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort*; the main entrance and office area is primarily located at the eastern portion of the building which will help cut down on western exposure and limit heat gain. Metal awnings will be provided at the main entrance to shade the glass lobby. Trees are provided along the length of the building on the east exposure to provide shade to the building and sidewalk on Smith Road. There is no western exposure to the office area.

3. *Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings;* the building incorporates concrete tilt panels, glass, and stucco over steel framed studded walls. The combination of materials provides varying aesthetics compatible with the surrounding area which is made up of concrete masonry and metal buildings. The material itself will achieve design details of interest while providing durability and appropriateness to the building use.
4. *Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings;* the building's scale and proportion are in concert with surrounding buildings. Architectural elements consisting of canopies, ribbon windows, and reveals within the surface of the building reduce the scale of the elevations to a human scale which helps alleviate the perception of height. Furthermore, mid-height trees compliment the building and provide proportionality in scale.
5. *Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level;* the concrete tilt panels have intermittent variation of height to provide an undulated look and break of the horizontal line of the parapet. The wall panels are also articulated with vertical enhancements to reduce the mass and provide color breaks and detail to provide rhythm and syncopation for the elevations. Furthermore, the metal awnings, wall panel reveals, and paint scheme provide a sense of movement to the elevation.
6. *Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions;* the building is designed with horizontal reveals to provide a linear feel and then broken at the parapet line with varying height panels. The ribbon window system adds to the horizontal feel and the metal awnings provide visual interest and human scale to the building's main entrance.
7. *Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage;* the proposed landscaping provides adequate shade and ground cover along ingress/egress paths.
8. *Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses;* all areas of the parking lot have easy and clear access to building entrances.
9. *Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance;* the construction of the building lends to a secure facility. All windows with ground level access are street facing or nearly so. The open parking lot area allows for natural surveillance of activity during operating and after hours.
10. *Landscape accents and provides delineation from parking, buildings, driveways and pathways;* the landscape design provides visual enhancements along the building elevations through the plantings of native trees and shrubs as accents along the street frontage. It also enhances visual separation from the building and vehicular and pedestrian pathways which provides visual acuity for the locations of the driveways.
11. *Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located;* signage shall be reviewed through a separate review and permit process.
12. *Lighting is compatible with the proposed building(s) and adjoining buildings and uses, and does not create negative effects;* lighting was designed to highlight portions of the building and landscape to add interest in the design which helps blend the building with the surrounding properties. Illumination levels shall be reviewed through the building permit process and meet current code requirements.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The PAD overlay process was specifically created to allow for greater flexibility, to allow for increased heights.
4. The proposed project meets the approval criteria for a Development Plan Review.

Based on the information provided and the above analysis, staff recommends approval of the requested Planned Area Development, Use Permit, and Development Plan Review. This request meets the required criteria and will conform to the conditions.

**PAD180005 - PLANNED AREA DEVELOPMENT
CONDITIONS OF APPROVAL**

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

General

1. A building permit application shall be made within two years of the date of City Council approval or the zoning of the property may revert to that in place at the time of application. Any reversion is subject to a public hearing process as a zoning map amendment.
2. The property owner(s) shall sign a waiver of rights and remedies form. By signing the form, the Owner(s) voluntarily waive(s) any right to claim compensation for diminution of Property value under A.R.S. §12-1134 that may now or in the future exist, as a result of the City's approval of this Application, including any conditions, stipulations and/or modifications imposed as a condition of approval. The signed form shall be submitted to the Community Development Department no later than 30 days from the date of City Council approval, or the PAD approval shall be null and void.
3. The Planned Area Development Overlay for PRECISION FLEET SERVICES shall be put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe's Community Development Department within sixty (60) days of the date of City Council approval and prior to issuance of building permits.

ZUP180025 - USE PERMIT CONDITIONS OF APPROVAL

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. The Use Permit is valid for the plans as submitted within this application. Any additions or modifications may be submitted for review during building plan check process.
2. All required State, County and Municipal permits or licenses shall be obtained or the Use Permit is void.
3. If there are any complaints arising from the Use Permit that are verified by a consensus of the complaining party and the City Attorney's office, the Use Permit will be reviewed by City staff to determine the need for a public hearing to re-evaluate the appropriateness of the Use Permit, which may result in termination of the Use Permit.

DPR180031 - DEVELOPMENT PLAN REVIEW CONDITIONS OF APPROVAL: (Non-standard conditions are identified in bold)

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

General

1. Except as modified by conditions, development shall be in substantial conformance with the site plan and building elevations received May 10, 2018 and landscape plan received May 7, 2018. Minor modifications may be reviewed through the plan check process of construction documents; major modifications will require submittal of a Development Plan Review.
2. A preliminary and final subdivision plat is required for this development and shall be recorded prior to issuance of building permits.

3. Art in Private Development is required. The developer may elect to install on-site artwork or provide an Arts Fund contribution. If the property owner elects to install on-site artwork, the Preliminary Art Project Plan is required before a building permit is issued.
4. **Prior to issuance of building permits, obtain a demolition permit or process a Development Plan Review to address non-conforming parking and landscape standards for Parcel Nos. 132-38-008N and 132-38-008K. Demolition or site modifications shall be completed prior to final certificate of occupancy for the new development.**

Site Plan

5. Provide service yard and mechanical (cooling tower/generator) yard walls that are at least 8'-0" tall as measured from adjacent grade and are at least the height of the equipment being enclosed, whichever is greater. Verify height of equipment and mounting base to ensure that wall height is adequate to fully screen the equipment.
6. Provide gates of steel vertical picket, steel mesh, steel panel or similar construction. Where a gate has a screen function and is completely opaque, provide vision portals for visual surveillance. Provide gates of height that match that of the adjacent enclosure walls. Review gate hardware with Building Safety and Fire staff and design gate to resolve lock and emergency ingress/egress features that may be required.
7. Provide upgraded paving at each driveway consisting of integral colored unit paving. Extend this paving in the driveway from the right-of-way line to 20'-0" on site and from curb to curb at the drive edges. From sidewalk to right-of-way line, extend concrete paving to match sidewalk.
8. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.
9. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage). If backflow prevention or similar device is for a 3" or greater water line, delete cage and provide a masonry or concrete screen wall following the requirements of Standard Detail T-214.

Floor Plans

10. Provide visual surveillance by means of fire-rated glazing assemblies from stair towers into adjacent circulation spaces.
11. Garage Security:
 - a. Minimize interior partitions or convert these to semi-opaque screens to inhibit hiding behind these features.
 - b. Provide exit stairs that are open to the exterior as indicated on the floor plan.
 - c. Paint interior wall and overhead surfaces with a highly reflective white color, minimum LRV of 75 percent.
 - d. Maximize openness at the elevator entrances and stair landings to facilitate visual surveillance from these pedestrian circulation areas to the adjacent parking level.
12. Parking Garage:
 - a. Minimum required parking dimensions shall be clear of any obstructions.
 - b. At the ends of dead-end drive aisles, provide a designated turn-around space, minimum 8'-6" clear in width (locate on left side if available), including 3'-0" vehicular maneuvering area for exiting. Turn-around area shall be clearly demarcated.
 - c. Provide a minimum 2'-0" of additional width for parking spaces when adjacent to a continuous wall.

Building Elevations

13. The materials and colors are approved as presented:
 - Primary Building – Painted Tilt-up Concrete Panels – Dunn Edwards Reclaimed Wood #DET625
 - Secondary Building – Painted Tilt-up Concrete Panels – Dunn Edwards Metal Fringe #DET626
 - Tilt Concrete Form Liner – Max ½" depth – Dunn Edwards Charcoal Sketch #DET628
 - Non-Tilt Concrete Panels – Smooth Stucco EIFS – Dunn Edwards Metal Fringe #DET626
 - Primary Building Accent – Dunn Edwards Charcoal Sketch #DET628

Secondary Building Accent – Dunn Edwards Stieglitz Silver #DET612

Windows - Anodized aluminum frame with insulated gray reflective glazing – Arcadia – Clear Finish – AC-2

Metal Awnings – Painted Metal – Dunn Edwards Summer Sun #DE5405

Warehouse/Garage Doors – Painted Metal – Dunn Edwards Deep Reclaimed Wood #DET625 or Metal Fringe #DET626

Parapet Screening – Painted Perforated Metal 1" min. opening over tube steel framing – Dunn Edwards Metal Fringe #DET626

Provide primary building colors and materials with a light reflectance value of 75 percent or less. Additions or modifications may be submitted for review during building plan check process.

14. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
15. Conceal roof drainage system within the interior of the building.
16. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
17. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
18. **Provide metal awnings along the first and second floor office windows on the northeast corner of the building. Details to be approved through Building Safety Plan Review.**

Lighting

19. This project shall follow requirements of ZDC Part 4, Chapter 8, Lighting, unless otherwise conditioned.
20. Illuminate building entrances and underside of open stair landings from dusk to dawn to assist with visual surveillance at these locations.

Landscape

21. Street trees shall be a minimum of 36" box specimens and a minimum of 1 ½" caliper trunk.
22. Irrigation notes:
 - a. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½". Provide details of water distribution system.
 - b. Locate valve controller in a vandal resistant housing.
 - c. Hardwire power source to controller (a receptacle connection is not allowed).
 - d. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - e. Repair existing irrigation system in the adjacent public right of ways where damaged by work of this project. Provide temporary irrigation to existing landscape in these frontages for period of time that irrigation system is out of repair. Design irrigation so existing plants in frontages is irrigated as part of the reconfigured system at the conclusion of this construction.
23. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
24. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

Building Address Numerals

25. Provide address sign(s) on the building elevation facing the street to which the property is identified.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name

- 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Self-illuminated or dedicated light source.
 - 4) On multi-story buildings, locate no higher than the second level.
 - 5) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 6) Do not affix numbers or letters to elevation that might be mistaken for the address.
- b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

SITE PLAN REVIEW: Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.

DEADLINE: Development plan approval shall be void if the development is not commenced or if an application for a building permit has not been submitted, whichever is applicable, within twelve (12) months after the approval is granted or within the time stipulated by the decision-making body. The period of approval is extended upon the time review limitations set forth for building permit applications, pursuant to Tempe Building Safety Administrative Code, Section 8-104.15. An expiration of the building permit application will result in expiration of the development plan.

CC&R'S: The owner(s) shall provide a continuing care condition, covenant and restriction for all of the project's landscaping, required by Ordinance or located in any common area on site. The CC&R's shall be reviewed and placed in a form satisfactory to the Community Development Manager and City Attorney.

STANDARD DETAILS:

- Access to Tempe Supplement to the M.A.G. Uniform Standard Details and Specifications for Public Works Construction, at this link: <http://www.tempe.gov/city-hall/public-works/engineering/standards-details> or purchase book from the Public Works Engineering Division.
- Access to refuse enclosure details DS116 and DS118 and all other Development Services forms at this link: <http://www.tempe.gov/city-hall/community-development/building-safety/applications-forms>. The enclosure details are under Civil Engineering & Right of Way.

BASIS OF BUILDING HEIGHT: Measure height of buildings from top of curb at a point adjacent to the center of the front property line.

COMMUNICATIONS:

- Provide emergency radio amplification for the combined building and garage area in excess of 50,000 sf. Amplification will allow Police and Fire personnel to communicate in the buildings during a catastrophe. Refer to this link: <http://www.tempe.gov/home/showdocument?id=30871>. Contact the Information Technology Division to discuss size and materials of the buildings and to verify radio amplification requirements.
- For building height in excess of 50'-0", design top of building and parapet to allow cellular communications providers to incorporate antenna within the building architecture so future installations may be concealed with little or no building elevation modification.

PUBLIC ART: Provide public art for this development in conformance with the Art in Private Development Ordinance and ZDC Sec. 4-407 and ZDC Appendix D. Contact the Community Services Cultural Services Division regarding implementation of this requirement prior to receiving building permits.

WATER CONSERVATION: Under an agreement between the City of Tempe and the State of Arizona, Water Conservation PL180002 – PRECISION FLEET SERVICES

Reports are required for landscape and domestic water use for the non-residential components of this project. Have the landscape architect and mechanical engineer prepare reports and submit them with the construction drawings during the building plan check process. Report example is contained in Office Procedure Directive # 59. Refer to this link: www.tempe.gov/modules/showdocument.aspx?documentid=5327. Contact the Public Works Department, Water Conservation Division with questions regarding the purpose or content of the water conservation reports.

HISTORIC PRESERVATION: State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.

POLICE DEPARTMENT SECURITY REQUIREMENTS:

- Design building entrance(s) to maximize visual surveillance of vicinity. Limit height of walls or landscape materials, and design columns or corners to discourage ambush.
- Maintain distances of 20'-0" or greater between a pedestrian path of travel and any hidden area to allow for increased reaction time and safety.
- Follow the design guidelines listed under appendix A of the Zoning and Development Code. In particular, reference the CPTED principal listed under A-II Building Design Guidelines (C) as it relates to the location of pedestrian environments and places of concealment.
- Provide a security vision panel at service and exit doors (except to rarely accessed equipment rooms) with a 3" wide high strength plastic or laminated glass window, located between 43" and 66" from the bottom edge of the door.

TRAFFIC ENGINEERING:

- Provide 8'-0" wide public sidewalk along arterial roadways, or as required by Traffic Engineering Design Criteria and Standard Details.
- Construct driveways in public right of way in conformance with Standard Detail T-320. Alternatively, the installation of driveways with return type curbs as indicated, similar to Standard Detail T-319, requires permission of Public Works, Traffic Engineering.
- Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult Intersection Sight Distance memo, available from Traffic Engineering if needed www.tempe.gov/index.aspx?page=801. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.

FIRE:

- Clearly define the fire lanes. Ensure that there is at least a 20'-0" horizontal width, and a 14'-0" vertical clearance from the fire lane surface to the underside of tree canopies or overhead structures. Layout and details of fire lanes are subject to Fire Department approval.
- Provide a fire command room(s) on the ground floor of the building(s). Verify size and location with Fire Department.

CIVIL ENGINEERING:

- An Encroachment Permit or License Agreement must be obtained from the City for any projections into the right of way or crossing of a public utility easement, prior to submittal of construction documents for building permit.
- Maintain a minimum clear distance of twenty-four (24) feet between the sidewalk level and any overhead structure.
- Underground utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
- Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
- Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
- Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
- 100 year onsite retention required for this property, coordinate design with requirements of the Engineering Department.

SOLID WASTE SERVICES:

- Enclosure indicated on site plan is exclusively for refuse. Construct walls, pad and bollards in conformance with standard detail DS-116.
- Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate. Refuse staging, collection and circulation must be on site; no backing onto or off of streets, alleys or paths of circulation.
- Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
- Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.

PARKING SPACES:

- Verify conformance of accessible vehicle parking to the Americans with Disabilities Act and the Code of Federal Regulations Implementing the Act. Refer to Building Safety ADA Accessible Parking Spaces Marking/Signage on Private Development details.
- At parking areas, provide demarcated accessible aisle for disabled parking.
- Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.

ZONING AND DEVELOPMENT CODE: Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.

LIGHTING:

- Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
- Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.

LANDSCAPE:

- Trees shall be planted a minimum of 16'-0" from any existing or proposed public utility lines. The tree planting separation requirements may be reduced to no less than 8'-0" from utility lines upon the installation of a linear root barrier. Per Detail T-460, the root barrier shall be a continuous material, a minimum of 0.08" thick, installed to a minimum depth of 4'-0" below grade. The root barrier shall extend 6'-0" on either side of the tree parallel to the utility line for a minimum length of 12'-0". Final approval is subject to determination by the Public Works, Water Utilities Division.
- Prepare an existing plant inventory for the site and adjacent street frontages. The inventory may be prepared by the Landscape Architect or a plant salvage specialist. Note original locations and species of native and "protected" trees and other plants on site. Move, preserve in place, or demolish native or "protected" trees and plants per State of Arizona Agricultural Department standards. File Notice of Intent to Clear Land with the Agricultural Department. Notice of Intent to Clear Land form is available at www.azda.gov/ESD/nativeplants.htm. Follow the link to "applications to move a native plant" to "notice of intent to clear land".

SIGNS: Separate plan review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Refer to www.tempe.gov/signs.

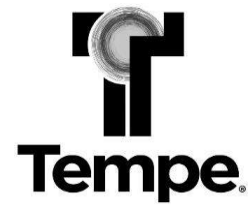
DUST CONTROL: Any operation capable of generating dust, include, but not limited to, land clearing, earth moving, excavating, construction, demolition and other similar operations, that disturbs 0.10 acres (4,356 square feet) or more shall require a dust control permit from the Maricopa County Air Quality Department (MCAQD). Contact MCAQD at <http://www.maricopa.gov/eq/>.

HISTORY & FACTS:

January 21, 1963	Board of Adjustment granted permission to build a new factory, SPORT CRAFT HOMES, located at 309 S Perry Ln in the I-2, General Industrial District.
March 22, 1972	Building Inspection Department passes final inspection of new building for NATIONAL MOBILE HOMES located at 309 S Perry Ln in the I-2, General Industrial District.
June 15, 1983	Design Review Board approved building elevations, site and landscape plan for PALM HARBOR HOMES (DR-83.80) located at 309 S Perry Ln in the I-2, General Industrial District.
April 18, 1984	Design Review Board approved the building addition for PALM HARBOR HOMES (DR-83.80) located at 309 S Perry Ln in the I-2, General Industrial District.
February 5, 1986	Design Review Board approved building elevations, and site plans for PALM HARBOR HOMES (DR-86.12) located at 309 S Perry Ln in the I-2, General Industrial District.
April 26, 1986	Board of Adjustment granted a variance for PALM HARBOR HOMES (A-83-4.7) to waive the required landscaping pockets within the on-site parking lot located at 309 S Perry Ln in the I-2, General Industrial District.
February 8, 1996	Design Review Board staff approved site plan modification to provide a 6' masonry wall and slatted gates required to screen mechanical equipment for PALM HARBOR HOMES located at 309 S Perry Ln in the I-2, General Industrial District.
November 20, 2012	Building Safety Division issued Building Permit (BP121764) to demolish seven (7) buildings at old Palm Harbor Homes site.
November 20, 2013	Building Safety Division Building Permit (BP121764) to demolish seven (7) buildings on old Palm Harbor Homes site expires.
August 8, 2017	Development Review Commission approved a Use permit to allow vehicle sales (indoor) and a Development Plan Review for a new industrial development consisting of 161,168 square-feet of above and below ground warehouse/garage and 13,106 square-feet of two-story office for PRECISION FEET SERVICES (PL160420), located at 360 South Smith Road in the GID, General Industrial District.

ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-305, Planned Area Development (PAD) Overlay districts
Section 6-306, Development Plan Review
Section 6-307, Subdivisions, Lot Splits and Adjustments
Section 6-308, Use Permit



DEVELOPMENT PROJECT FILE

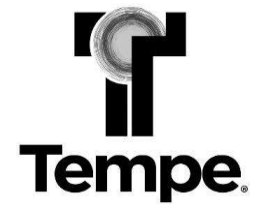
for

PRECISION FLEET SERVICES

(PL180002)

ATTACHMENTS:

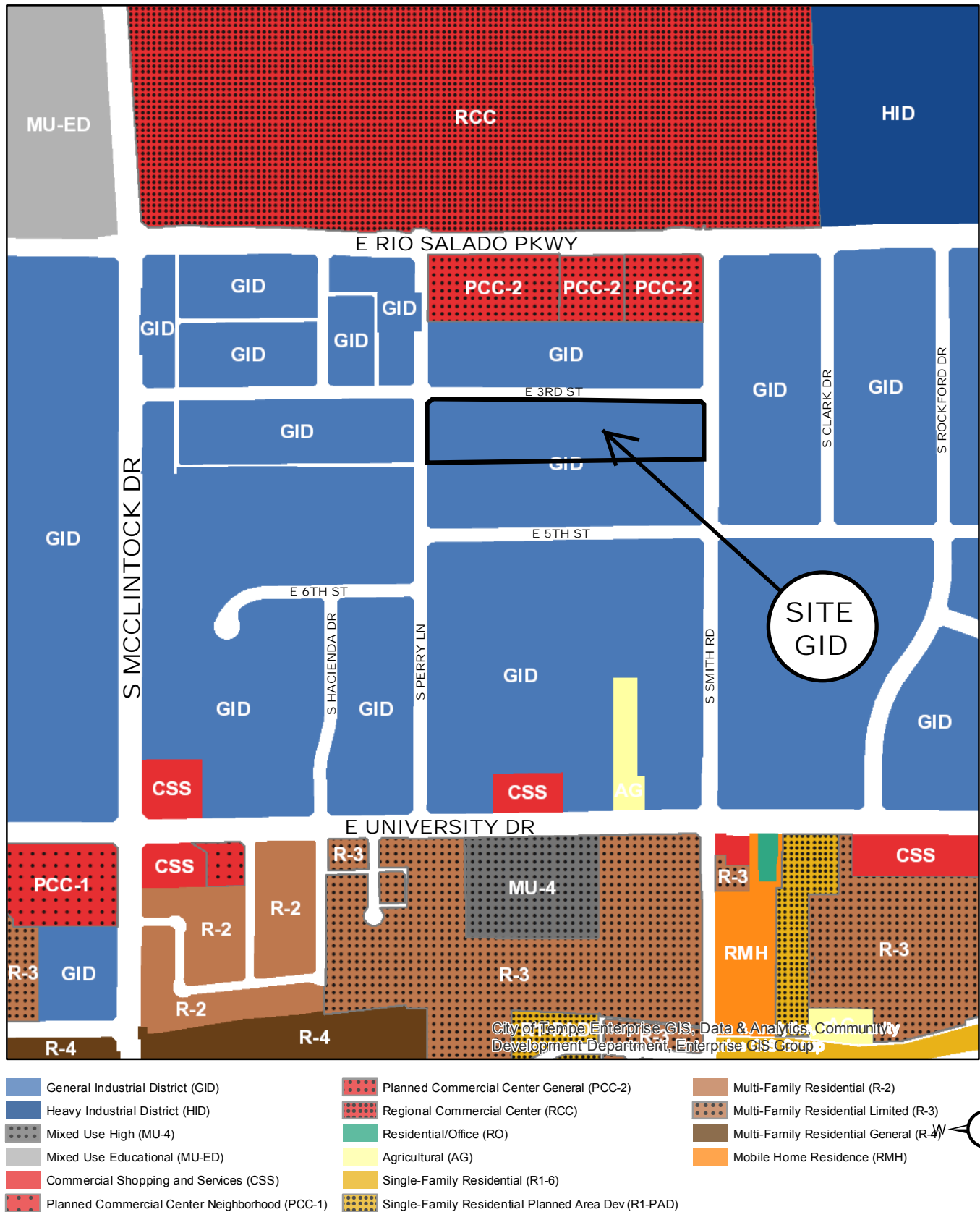
1. Location Map
2. Aerial
- 3-5. Planned Area Development Overlay Letter of Explanation
- 6-7. Use Permit Letter of Explanation
- 8-11. Development Plan Review Letter of Explanation
- 12-13. Planned Area Development Overlay
14. Development Plan Review Site Plan
15. Landscape Plan
16. Contextual Aerial Map with Site Plan Overlay
- 17-20. Warehouse/Garage Floor Plan
- 21-22. Office Floor Plan
- 23-26. Blackline Building Elevations
- 27-30. Color Building Elevations
- 31-32. Building Section
- 33-34. Color Perspectives
35. Street Elevations



- 36. Material Sample Board
- 37-38. Neighborhood Meeting Summary
- 39-51. Site Context Photos
- 52-55. Waiver of Rights and Remedies

Precision Fleet Services

PL 180002

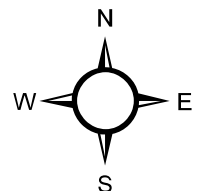


Precision Fleet Services

PL 180002



Aerial Map



To: Lee Jimenez, Senior Planner
Suparna Dasgupta, Principal Planner
City of Tempe

From: David W Fulk, Project Director
Cawley Architects

Subject: Precision Fleet Services-
Amended PAD Submittal
360 S. Smith Road, Tempe, AZ

Date: May 7, 2018

PAD AMENDMENT NARRATIVE

Cawley Architects, Ganem Construction and Precision Fleet services are requesting approval of a new, completely enclosed two (2) story garage, with roof level parking, to house vehicles for sale. The building and program for the project require an additional 20' of building height to maximize the presentation, storage and effective sales of these vehicles. Consequently, we are requesting a PAD Overlay to increase the approved building height for this lot, and this project, to be 55', as per ordinance definition, rather than 35'. We propose calculating the required bicycle parking for the warehouse portion under the vehicle sales/rental factors per Table 4-603E, which equates to 4 spaces minimum.

The project owner is Precision Fleet Services, a Tempe based auto sales company. The proposed design for the site is a two-story office structure attached to an enclosed three level parking garage. The architectural character and materials will be in conformance to the GID zoning and in character with the other light industrial buildings recently constructed in the immediate surrounds.

Criteria required to be met by ordinance include the following three items, all of which we meet.

Approval by the City Council of an overlay shall be based on a finding that the zoning overlay fulfills certain goals and objectives in the General Plan, and the principles and guidelines of other area policy plans. Performance considerations are established to fulfill those objectives.

Redevelopment of this existing, vacant property is in conformance to the General Plan.

- The lot is currently zoned GID and is in the heart of the very large, consistently zoned industrial area between Rio Salado Drive to the north, University to the south, McClintock to the west and the Loop 101 to the east. The entire surrounding areas are all GID and various industrial districts, as per the current and forecasted General Plan 2040.

- The overlay will allow the development of new construction and growth which is a central tenant of the Tempe General Plan 2040. The current plan principle for “Economic Vitality is to support development efforts and promote sustained economic growth throughout the City. Pro-business policies are essential for retaining existing jobs and attracting new ones. Economic vitality and jobs within the community and for all segments of the community allow businesses, residents and individuals to thrive.”

Standards requested through the PAD Overlay District shall take into consideration, the location and context for which it is proposed.

The proposed building and the requested height increase have taken into consideration the context.

- The lot is currently zoned GID and is in the heart of the very large, consistently zoned industrial area.
- The property is currently being used to store cars, merely on the lot. This project proposes to construct a brand new, state of the art facility to completely enclose this entire fleet.
- The existing buildings surrounding the project are all industrial one and two-story facilities, several of which are close to 35' tall already.
- The additional height requested will not overwhelm or be considered offensive aesthetically to the surrounding buildings industrial buildings.
- The building materials and architectural vocabulary are completely in keeping with the surrounding building for both materials and vocabulary.

The development appropriately mitigates transitional impacts on the immediate surroundings.

The proposed building does mitigate transitional impacts.

- While the building itself is requested to be higher than additional surrounding buildings, the street facing two story offices is lower in height, matches adjacent two-story building height, and maintains a consistent street elevation for height.
- The tilt up banding of the higher garage portion of the tilt up concrete project is articulated with vertical bands to reduce the horizontal massing.
- The office is further reduced in scale to be in context with the urban scale of the surrounding developments, presenting a pedestrian scaled façade and entry articulated by ribbon windows.
- The entrances are balanced between Smith Street and 3rd Street, balancing employee traffic for the project.

The development appropriately supports the Apache Character Area Plan.

- The building materials and architectural vocabulary are in keeping with the surrounding buildings regarding both materials and vocabulary.
- The building facades provide a focal point with decorative features along Third Street and Smith Road.
- This project enhances the mixed-use redevelopment with a light industrial theme, replacing a property currently being used to store cars, on an undeveloped lot. This project proposes to construct a brand new, state of the art facility to completely enclose this entire fleet.
- The project also can support a photovoltaic canopy structure at the roof level as a possible future installation.

- This project continues to promote walking and biking initiatives through landscaped areas along Third Street and Smith Road. This among other features accentuates the pedestrian and bicycle corridors to Tempe Marketplace as well as the ASU Main Campus.
- The project also features a robust shading structure at the entrance facing Smith Rd.
- Construction materials such as concrete tilt, metal canopies and vertical design features continue the areas push for materials to remain “honest” to their inherent characteristics.
- It is important to note that, the proposed project is taking a fleet of cars spread over two large lots and condensing them into one state- of –art facility consolidated on a single lot. Thus, creating additional, multi-use re-development in the future. This addresses key criteria for the NE Industrial Area within the Apache Character Area Plan,

To: Lee Jimenez, Senior Planner
Suparna Dasgupta, Principal Planner
City of Tempe

From: David W Fulk, Project Director
Cawley Architects

Subject: Precision Fleet Services-
Use Permit
360 S. Smith Road, Tempe, AZ

Date: May 7, 2018

USE PERMIT NARRATIVE

Cawley Architects, Ganem Construction and Precision Fleet services are requesting approval of a Use Permit for new, completely enclosed two (2) story garage, with roof level parking, to house vehicles for sale. The building and program for the project require a PAD Overlay, DPR Approval, Use Permit along with Preliminary and Final Plats . The Use Permit for this same owner, with a different building proposal was previously granted to Precision Fleet in August of 2017. This revised approval includes a larger building, with more capacity, but meets all the criteria of the original approval. The following is the text submitted originally for the first approval last year, edited to describe the new project.

The applicant in this case is Chris Finn. The Project's address is 360 South Smith Road, Tempe, Arizona. The owner of the property is 309 South Perry, LLC ("309 South Perry"). The tenant at the property is Precision Fleet Services, LLC ("Precision"). Each of these limited liability companies is owned by an entity-owner named MALCK, LLC ("MALCK"). Mr. Finn is the President of MALCK, LLC, and is the owner-representative for the interested parties in this matter.

Historically, the property was identified by the common address of 309 South Perry, Tempe, Arizona, and a mobile home manufacturer was located at the site. Precision is a licensed car dealer and operates a dealership at the property using the common address of 1941 East Third Street, Tempe, Arizona.

The dealership is a traditional car lot. It does do online sales, as well as wholesale sales to other dealers. Inventory is typically obtained through trade-ins, wholesale purchases from other dealers, and auctions.

The property consists of, and the dealership is located on, three parcels, identified with the Maricopa County Assessor as Parcel Nos. 132-38-008N, 132-38-008K, and 132-38-008M (the "Parcels"). The current dealership with its offices, buildings, and other improvements sits primarily on Parcels -008N and -008K. Only a small portion of the active dealership utilizes Parcel No. -008M for access and for a portion of the building improvements. The remainder of Parcel No. -

008M, for the most part, is an open parking lot with little to no improvements, except for the pavement and fencing. Parcel No. -008M is used by the dealership as overflow parking for vehicles. 360 South Smith Road, Tempe, Arizona is the common address of Parcel No. -008M.

Precision wants to extend its current operations by making significant improvements to the property, which is primarily Parcel No. -008M, to expand its existing dealership. The Project's goals and objectives are to build a three story, completely enclosed garage and a two-story office on Parcel No. -008M. The commercial or office space of the office building will comprise of approximately 14,150 sq. ft. The warehouse will comprise of 238,185 sq. ft.

The warehouse will be used for vehicle storage; it is not a public venue where there will be significant foot traffic or customers coming and going. A customer who wishes to see a specific vehicle will wait in the office, and dealership employees will retrieve the vehicle from the warehouse and bring that car to the customer.

As a part of the permitting process, Precision intends to combine Parcel Nos. -008N and -008K. Precision also intends to move the western lot line of Parcel No. -008M eastward so that it does not encroach upon the existing building improvements. The use permit is sought for the entire dealership located on the existing three Parcels.

The dealership is open Monday through Friday, from 9:00 a.m. to 6:00 p.m., and on Saturday from 9:00 a.m. to 4:00 p.m. Those hours will not change with the improvements. The dealership employees some office staff, mechanics, service people, sales people, and some administrators. Currently, there are approximately 30 individuals who work at Precision. That number is expected to increase by 50% with the expansion.

The Parcels, and all immediate adjacent properties, are zoned as General Industrial Districts. The proposed improvements should greatly improve the Parcels' value, as well as increase the value of neighboring properties. None of the adjacent properties should be negatively impacted by the improvements.

As for Zoning and Development Code Criteria Section 6-308E issues, the applicant responds as follows:

- a. Traffic. There is little pedestrian traffic in the area. There is some vehicular traffic due to the nature of the dealership business and the surrounding businesses, which traffic should increase, but the current road conditions and flow should be sufficient to handle any increased traffic.
- b. Nuisance. The construction of the improvements should not involve any significant demolition as Parcel No. -008M, for the Project, is vacant but for a parking lot and an existing fence. The construction of the improvements shall be controlled and compliant with general construction codes and protocol. Once completed, the improvements will not create anything other than the ambient conditions that may currently exist.
- c. Contribution to Values. Nothing from the improvements will deteriorate or downgrade the Parcels or the neighboring properties. To the contrary, those properties' values will increase.
- d. Compatibility. The improvements shall be compatible with the existing structures and uses.
- e. Control. Parcel No. -008M, for the Project is currently secured with a wall, security wire, and other security measures. There is currently very limited or nominal disruptive behavior at the Parcel both inside and outside. The improvements should lessen further any disruptive behavior in large part because the security will be improved by way of the improvements.

To: Lee Jimenez, Senior Planner
Suparna Dasgupta, Principal Planner
City of Tempe

From: David W Fulk, Project Director
Cawley Architects

Subject: Precision Fleet Services-
Development Plan Review
360 S. Smith Road, Tempe, AZ

Date: May 7, 2018

DEVELOPMENT PLAN REVIEW NARRATIVE

The project owner is Precision Fleet Services, a Tempe based auto sales company. The proposed design for the site at 360 S. Smith Road is a two-story office structure attached to a fully enclosed two level parking garage w/ roof level parking. The primary goal of this facility is to provide an enhanced car buying experience within an affordable environment. The approach of this submittal is to enhance and update the previous approved design by the City for this site as well as request an increase of the maximum height to 55 feet for the parking garage. The enclosed parking garage attached to the sales offices is a key component to the success of this approach. The owner is currently operating the business on the adjacent lot to the west but feels the proposed building will provide a more complete sales experience and business opportunity. The attached offices of the proposed design will allow the sales staff and customer to observe a majority of the inventory from the sales offices with the increased height of the entry level garage ceiling of 24 feet clear. The office portion of the facility is 14,150 S.F., providing executive and sales staff offices along with space for support staff, filing, conference rooms and a two-story entry lobby. The enclosed parking garage is 237,366 S.F. providing parking for the auto sales inventory, totaling 252,335 S.F. for the total structure being proposed on this site. Extensive maintenance and repairs will not be performed in this building but rather at an offsite location. The garage is enclosed for the lower two levels to provide a tempered environment for the benefit of the auto and customer, with the roof top, or third parking level, designed as an open air parking deck. The architectural character and materials will be in conformance to the GID zoning and in character with the other light industrial buildings recently constructed in the immediate surrounds. The exterior of the two building masses, the office and garage, will marry together with the use of tilt-up concrete articulated with vertical bands to reduce the horizontal massing. The office is further reduced in scale to be in context with the urban scale of the surrounding developments, presenting a pedestrian scaled façade and entry articulated by ribbon windows punctuated by the larger expanse of glass for the front entry lobby. The color scheme and material selection will be a warm palette of grey tones highlighted by an introduction of an accent color, representing the Precision Fleet Services branding.

Placement, form, and articulation of buildings and structures provide variety in the streetscape-

The building is situated at the intersection of E. 3rd Street and S. Smith Road and will extend along the length of 3rd Street with the primary entry off of S. Smith Road. This provides for screened parking on the south side of the property. The primary orientation of the building facing S. Smith Road provides a logical point for the entry drive connecting with the surface parking on the south and continuing around the building to the second entry on E. 3rd Street. It also allows for a very impressive presence on both streets. The entrance to the building is enhanced with articulation to separate and define it from the remainder of the building. The two-story entry uses glass walls enhanced with a metal awning to distinguish it from the concrete tilt panel building. Horizontal and vertical reveal patterns were created within the concrete tilt panels to allow for color variation. The vertical bands are used to reduce the horizontal length and to provide undulation along the parapet.

Building Design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort-

The building entry and office area is located at the eastern portion of the building which will help cut down on the western exposure and limit the heat gain. The entry will be further protected by the extended metal awning to shade the glass lobby. The glass in this area will be insulated glazing with a reflective film to help mitigate the heat exposure from this side. Trees have been added the length of the building on the east exposure to provide shade to the building and along the sidewalk on S. Smith Road. The western exposure faces the parking lot and limited elevation of the parking garage, further insulating the offices from the heat gain.

Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings-

The building design incorporates concrete tilt panels, glass, stucco over steel framed stud walls. The combination of the materials provides a varying aesthetic that is more than agreeable to its surroundings, which are made up of concrete masonry and metal buildings. The provided materials will achieve design details of interest while still being durable and appropriate to the building use.

Building, structures, and landscape elements are appropriately scaled, relative to the site and surroundings-

While the building height proposed is increased to 55 feet, 20 feet above the zoning height regulations, the building's scale and proportions are in concert with other buildings near this property. Additionally, the architectural character utilizing canopies, ribbon windows, and reveals within the surface of the building have reduced the scale of the elevations to give the building a more human scale and to help alleviate the perception of height. Mid-height trees were selected to compliment the building and provide a proportional scale.

Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top featuring an enhanced pedestrian experience at and near street level-

The concrete tilt panels are designed with different heights to provide an undulated look and break up the horizontal line of the parapet. The wall panels are also articulated with vertical

enhancements to reduce the mass and provide additional color and detail to provide rhythm and syncopation for the elevations. As mentioned above architectural canopies and reveals provide the sense of movement to the elevation. The paint scheme provides further visual undulation along the elevation to facilitate the desired rhythm of the building.

Building facades provide architectural detail and interest overall with visibility at street level while responding to varying climatic and contextual conditions-

The building is designed with horizontal reveals to provide a linear feel and then broken at the parapet line with varying height panels. The window system plays into this horizontal feel by introducing ribbon windows at the offices, proportionally balanced with mullions to reflect a human scale. The architectural canopies provide visual interest and human scale while providing visual cues for the entry. The entry massing is elevated higher than the adjacent parapets to further enhance and recognized the value of the two-story entry volume.

Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage-

Along Smith Road and 3rd Street the plans indicate new sidewalks to allow pedestrian access from patrons utilizing bus or light rail transportation. The site provides for bicycle parking near the entry of the facility to accommodate both employees and patrons whom may wish to cycle to this location. Whether a pedestrian or cyclist, the path to the site will be enhanced with native landscaping and adequate lighting to provide a sense of security.

Vehicle circulation is designed to minimize conflicts with pedestrian access and circulation and with surrounding residential uses-

The vehicular access is at the far northwest corner and lower southeast corner of the site which will minimize the disruption of pedestrian access. The access drives are also situated in a manner as to provide visual awareness to pedestrians and vehicular traffic to provide adequate awareness of conflicting traffic to provide a safe integration of vehicles and pedestrians.

Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance-

In developing the site design, great attention was placed on providing security facility, specifically for the rear yard and limiting access. Additionally, the building will provide security lighting for the exterior not to be screened by landscaping or by hidden crevasses within the building façade. The primary access to the building will be visible from the street and provide visibility from within the building to provide visual awareness of the immediate surrounds. The primary activity of patrons entering or exiting the building will be along S. Smith Road, which will provide high visibility to for safety. The building owner will provide an on-going maintenance program to replace broken windows, burned out or damaged light fixtures, or removal of graffiti as a good business practice and good neighbor policy to ensure the business is viewed in the highest regard by the community.

Landscape accents and provides delineation from parking, buildings, driveways and pathways-

The landscape design provides visual enhancement along the building elevations through the plantings of native trees and shrubs as accents along 3rd Street and S. Smith Road. The landscape enhances the visual separation from the building and the vehicular and pedestrian pathways which provides visual acuity for the locations of the driveways.

Signs have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the building or site on which they are located-

The signage that will be presented for design review and permitting will be both proportional to the location on the building along the parapet of the parking garage and will be equally proportional to the signage on the smaller office building elevation. The accent colors of the signage are presented within the color scheme of the building as accents to unify the color scheme and building design.

Lighting is compatible with the proposed buildings(s) and adjoining buildings and uses, and does not create negative effects-

Lighting of the facility and the site will provide a safe environment for patrons and the neighboring community without providing negative effects on the adjoining properties. Great care will be taken to ensure the lighting standards of the City of Tempe will be followed as well as utilizing the opportunities to provide a quality and unique design which will provide a benefit to the community.

The development appropriately supports the Apache Character Area Plan.

- The building materials and architectural vocabulary are in keeping with the surrounding buildings regarding both materials and vocabulary.
- The building facades provide a focal point with decorative features along Third Street and Smith Road.
- This project enhances the mixed-use redevelopment with a light industrial theme, replacing a property currently being used to store cars, on an undeveloped lot. This project proposes to construct a brand new, state of the art facility to completely enclose this entire fleet.
- The project also can support a photovoltaic canopy structure at the roof level as a possible future installation.
- This project continues to promote walking and biking initiatives through landscaped areas along Third Street and Smith Road. This among other features accentuates the pedestrian and bicycle corridors to Tempe Marketplace as well as the ASU Main Campus.
- The project also features a robust shading structure at the entrance facing Smith Rd.
- Construction materials such as concrete tilt, metal canopies and vertical design features continue the areas push for materials to remain “honest” to their inherent characteristics.
- It is important to note that, the proposed project is taking a fleet of cars spread over two large lots and condensing them into one state-of-the-art facility consolidated on a single lot. Thus, creating additional, multi-use re-development in the future. This addresses key criteria for the NE Industrial Area within the Apache Character Area Plan,

PLANNED AREA DEVELOPMENT OVERLAY FOR PRECISION FLEET SERVICES

A PORTION OF THE NORTHWEST QUARTER, SECTION 13, TOWNSHIP 1 NORTH, RANGE 4 EAST. GILA AND SALT
RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

PRECISION FLEET SERVICES, LLC OWNER AUTHORIZATION

PRECISION FLEET SERVICES, LLC., AN ARIZONA LIMITED LIABILITY
COMPANY:

BY: _____
OWNER DATE

ITS: PRESIDENT

ACKNOWLEDGEMENT

ON THIS _____ DAY OF _____, 20____, BEFORE
ME, THE UNDERSIGNED, PERSONALLY APPEARED, CHRISTOPHER FINN
OWNER, WHO ACKNOWLEDGED HIMSELF TO BE THE PERSON
WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN,
AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE
PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL
SEAL

BY: _____
NOTARY PUBLIC MY COMMISSION EXPIRES _____

LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN THE CITY OF TEMPE, COUNTY OF MARICOPA, STATE OF ARIZONA DESCRIBED AS
FOLLOWS:

THE NORTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 13,
TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;
EXCEPT THE WEST HALF OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST
QUARTER; AND EXCEPT THAT PART OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE
SOUTHWEST QUARTER DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER OF ABOVE SECTION 13; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF ABOVE
SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, SOUTH 01° 10' 10" WEST (ASSUMED BEARING) TO THE
SOUTHEAST CORNER OF THE SOUTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST
QUARTER OF ABOVE SAID SECTION 13, A DISTANCE OF 652.68 FEET, TO THE POINT OF BEGINNING; THENCE CONTINUING
SOUTH 01° 10' 10" WEST, A DISTANCE OF 40.00 FEET TO A POINT; THENCE NORTH 88° 40' 05" WEST TO THE WESTERLY
LINE OF ABOVE SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, A DISTANCE OF 1314.47 FEET; THENCE
ALONG THE WESTERLY LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, NORTH 01° 07' 15" EAST TO
THE SOUTHWEST CORNER OF THE SOUTH HALF OF THE NORTH HALF OF THE NORTHEAST QUARTER OF THE
SOUTHWEST QUARTER OF ABOVE SAID SECTION 13, A DISTANCE OF 9.00 FEET; THENCE NORTH 88° 40' 05" EAST, A
DISTANCE OF 1314.75 FEET TO THE POINT OF BEGINNING, AS SET FORTH IN DECREE RECORDED IN DOCKET 4447, PAGE
423, MARICOPA COUNTY RECORDS; AND EXCEPT A STRIP OF LAND 30.00 FEET IN WIDTH LYING IMMEDIATELY SOUTH OF
A LINE DESCRIBED AS:

COMMENCING AT THE CENTER OF SECTION 13, TOWNSHIP 1 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE
AND MERIDIAN; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST
QUARTER, A DISTANCE OF 652.68 FEET; THENCE CONTINUING SOUTH, A DISTANCE OF 40.00 FEET TO A POINT; SAID
POINT BEING THE POINT OF BEGINNING OF THE LINE DESCRIBED HEREIN; THENCE NORTH 88° 40' 05" WEST, A DISTANCE
OF 1314.47 FEET TO A POINT ON THE WEST LINE OF THE SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER,
SAID POINT BEING THE TERMINUS OF THE LINE DESCRIBED HEREIN; AND EXCEPT A RIGHT-OF-WAY DEDICATION BEING
THAT PART OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF
SAID SECTION 13 DESCRIBED IN DOCKET 16498, PAGE 277, MARICOPA COUNTY RECORDS AS FOLLOWS:

THE EAST 33 FEET OF SAID NORTH HALF; TOGETHER WITH; A 15-FOOT BY 15-FOOT RIGHT-OF-WAY TRIANGLE
DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER
OF THE SOUTHWEST QUARTER OF SAID SECTION 13; THENCE NORTH 01° 10' 10" EAST (ASSUMED BEARING) ALONG THE
EAST LINE OF SAID NORTH HALF OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF
SAID SECTION 13, A DISTANCE OF 241.34 FEET; THENCE NORTH 88° 40' 05" WEST, 33.00 FEET TO THE POINT OF
BEGINNING; THENCE NORTH 01° 10' 10" EAST 15 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF 3RD STREET; THENCE
NORTH 88° 40' 05" WEST, 15 FEET ALONG SAID SOUTH RIGHT-OF-WAY LINE; THENCE SOUTHEASTERLY 21.18 FEET TO
THE POINT OF BEGINNING.

APPROVAL

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF
TEMPE ON THIS _____ DAY OF _____, 20____.

OWNER / DEVELOPER

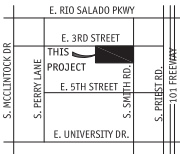
OWNER: PRECISION FLEET SERVICES, LLC,
1941 E. THIRD ST.
TEMPE, AZ 85281
T. 602-405-8406

DEVELOPER: GANEM COMPANIES
1725 W. WILLIAMS DR. SUITE 4
PHOENIX, ARIZONA 85027

PROJECT DATA

ZONING DISTRICT(S) AND OVERLAY(S) TABLE 4-204. (DEVELOPMENT STANDARDS FOR WTEC (COMMUTAL DISTRICTS))				PAD PROPOSED
GENERAL PLAN LAND USE	INDUSTRIAL			
GENERAL PLAN DENSITY	NONE			
SITE AREA (PROPOSED)	157,607 S.F. (3.62 ACRES)			
BUILDING HEIGHT PER ZDC, SECTION 7-103 AND SECTION 7-108	55'			
BUILDING LOT COVERAGE PER ZDC, SECTION 7-113 AND SECTION 4-202	NS			
SITE LANDSCAPE COVERAGE PER ZDC, SECTION 7-113 AND SECTION 4-202	10%			
BUILDING SETBACKS				
FRONT	25'			
FRONT PARKING	20'			
SIDE	0			
REAR	0			
STREET SIDE	25'			
STREET SIDE PARKING	20'			
VEHICLE PARKING QUANTITY				
REQUIRED PARKING CALCS				
OCCUPANCY	S.F.	FACTOR	TOTAL	
OFFICE	14,150	300	48	
WAREHOUSE	157 - 10,000	500	20	
WAREHOUSE	222,380	5000	45	
TOTAL:			113	
PARKING PROVIDED				
TOTAL EXTERIOR SPACES				78
TOTAL INTERIOR WAREHOUSE PUBLIC SPACES				35
TOTAL SPACES ON SITE				113
BICYCLE PARKING QUANTITY PER ZDC, TABLE 4-603E				
BICYCLE PARKING CALCS				PROVIDED
OFFICE				4
WAREHOUSE (VEHICLE SALES)				4
TOTAL				8
USES				
AREA CALC.	1ST FLOOR	2ND FLOOR	TOTALS	
OFFICE	7,759	6,391	14,150	
WAREHOUSE	232,380		232,380	
TOTAL:			246,530	
USE PERMIT:	TO ALLOW VEHICLE SALES INDOORS.			

SITE VICINITY MAP



CONDITIONS OF APPROVAL: PL180002

PAD STIPULATIONS TO BE DETERMINED

GENERAL NOTES

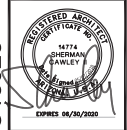
PRECISION FLEET SERVICES ARE REQUESTING APPROVAL OF A NEW, COMPLETELY ENCLOSED THREE
(3) STORY GARAGE, TO HOUSE VEHICLES FOR SALE. THE BUILDING AND PROGRAM FOR THE
PROJECT REQUIRE AN ADDITIONAL 20' OF BUILDING HEIGHT TO MAXIMIZE THE PRESENTATION,
STORAGE AND EFFECTIVE SALES OF THESE VEHICLES. CONSEQUENTLY, WE ARE REQUESTING A PAD
OVERLAY TO INCREASE THE APPROVED BUILDING HEIGHT FOR THIS LOT, AND THIS PROJECT, TO BE
55', AS PER ORDINANCE DEFINITION, RATHER THAN 35'.

THE ARCHITECTURAL CHARACTER AND MATERIALS WILL BE IN CONFORMANCE TO THE GID ZONING
AND IN CHARACTER WITH THE OTHER LIGHT INDUSTRIAL BUILDINGS RECENTLY CONSTRUCTED IN
THE IMMEDIATE SURROUNDINGS.



730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P. 602.393.5060

CawleyArchitects.com



PRECISION FLEET SERVICES

360 SOUTH
SMITH ROAD
TEMPE
ARIZONA

DATE
D/R/PAD/ USE PERMIT
FINAL SUBMITTAL
05-01-2018

NOTICE OF ALTERNATE BILLING CYCLE:

This contract shall be billed on the basis of the billing cycle of the project. The billing cycle shall be determined by the project manager. The billing cycle shall be determined by the project manager. The billing cycle shall be determined by the project manager.

The architect shall design and prepare these documents and provide the services provided by Cawley Architects.

All documents shall be submitted to the project manager. The project manager shall be responsible for the review and approval of all documents. The project manager shall be responsible for the review and approval of all documents.

Responsibilities between the architect and the project manager shall be determined by the project manager. The project manager shall be responsible for the review and approval of all documents.



DS160021

PL180002

REC18028

PLANNED AREA DEVELOPMENT OVERLAY FOR PRECISION FLEET SERVICES SITE PLAN



730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P. 602.393.5060

CawleyArchitects.com



**PRECISION
FLEET
SERVICES**

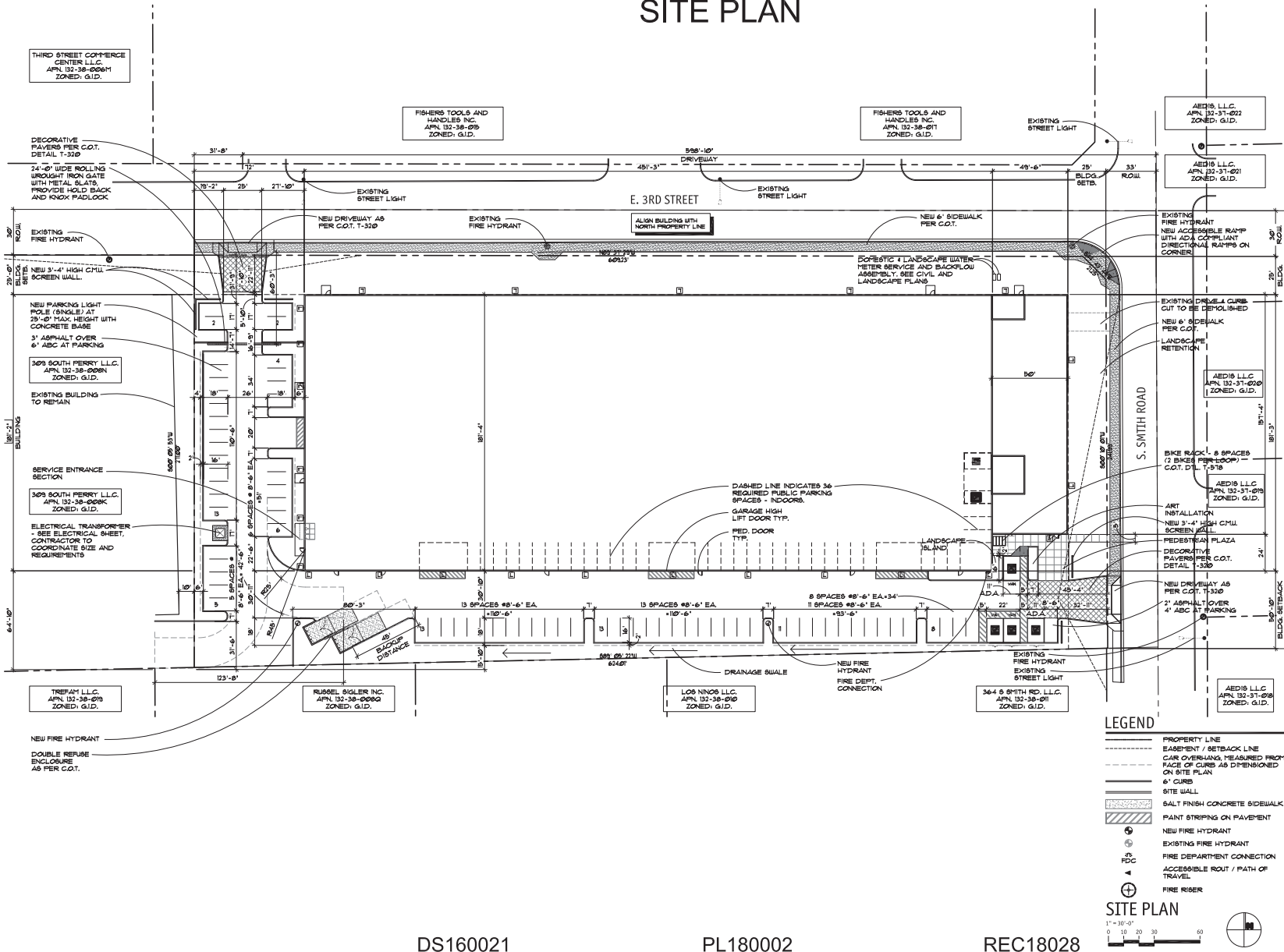
360 SOUTH
SMITH ROAD
TEMPE
ARIZONA

DATE
DR/PAD/USE PERMIT
FINAL SUBMITTAL
05-07-2018

NOTICE OF ALTERNATE BILLING
CYCLE:
The architect design and plans
prepared by these documents are
prepared for service provided by Cawley
Architects.
All documents found in these documents
are to be used between these documents and
shall not be used for any other purpose
without the written consent of the architect.
Discrepancies between these documents
and these documents shall be resolved by the
General Contractor's decision.

Project: PFS

PAD
SITE PLAN
A1.0



THE PROPOSED SITE PLAN MODIFIES THE EXISTING
ENTITLEMENTS FOR THIS SITE WITH A PROPOSED NEW
PLANNED AREA DEVELOPMENT, BASED ON THE DESIGN
PRESENTED WITHIN THIS PLAN DATED

ZONING DISTRICT(S) AND OVERLAY(S) TABLE 4-204 DEVELOPMENT STANDARDS FOR OFFICE/INDUSTRIAL DISTRICTS	ZDC STANDARDS FOR DISTRICT	PAD PROPOSED
---	----------------------------------	-----------------

GENERAL PLAN LAND USE	INDUSTRIAL/INDUSTRIAL
GENERAL PLAN DENSITY	NONE NONE
SITE AREA (PROPOSED)	157,607 S.F. (3.62 ACRES)

BUILDING HEIGHT PER ZDC SECTION 7-103 AND SECTION 7-108	35'	55'
BUILDING LOT COVERAGE PER ZDC SECTION 7-113 AND SECTION 4-202	NS	--
SITE LANDSCAPE COVERAGE PER ZDC SECTION 7-113 AND SECTION 4-202	10%	--

BUILDING SETBACKS	25'	--
FRONT PARKING	20'	--
SIDE	0	--
REAR	0	--
STREET SIDE	25'	--
STREET SIDE PARKING	20'	--

VEHICLE PARKING QUANTITY			
REQUIRED PARKING CALC.			
OCCUPANCY	S.F.	FACTOR	TOTAL
OFFICE	14,150	300	48
WAREHOUSE	157,100,000	500	20
WAREHOUSE	222,380	5000	45
TOTAL:			113

PARKING PROVIDED			
TOTAL EXTERIOR SPACES			78
TOTAL INT. WAREHOUSE PUBLIC SPACES			35
TOTAL SPACES ON SITE			113

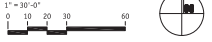
BICYCLE PARKING CALC.			
	REQUIRED	PROVIDED	
OFFICE	1:8,000 S.F. = 4 MIN.		4
WAREHOUSE	1:10,000 S.F. = 23		4

USES			
AREA CALC.	1ST FLOOR	2ND FLOOR	TOTALS
OFFICE	7,750	6,391	14,150
WAREHOUSE	232,380		232,380
TOTAL:			246,530
USE PERMIT:	TO ALLOW VEHICLE SALES INDOORS.		

LEGEND

- PROPERTY LINE
- EASEMENT / SETBACK LINE
- CAR OVERHANG, MEASURED FROM
FACE OF CURB AS DIMENSIONED
ON SITE PLAN
- 6" CURB
- SITE WALL
- SALT FINISH CONCRETE SIDEWALK
- PAINT STRIPING ON PAVEMENT
- NEW FIRE HYDRANT
- EXISTING FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- ACCESSIBLE ROUT / PATH OF
TRAVEL
- FIRE RISER

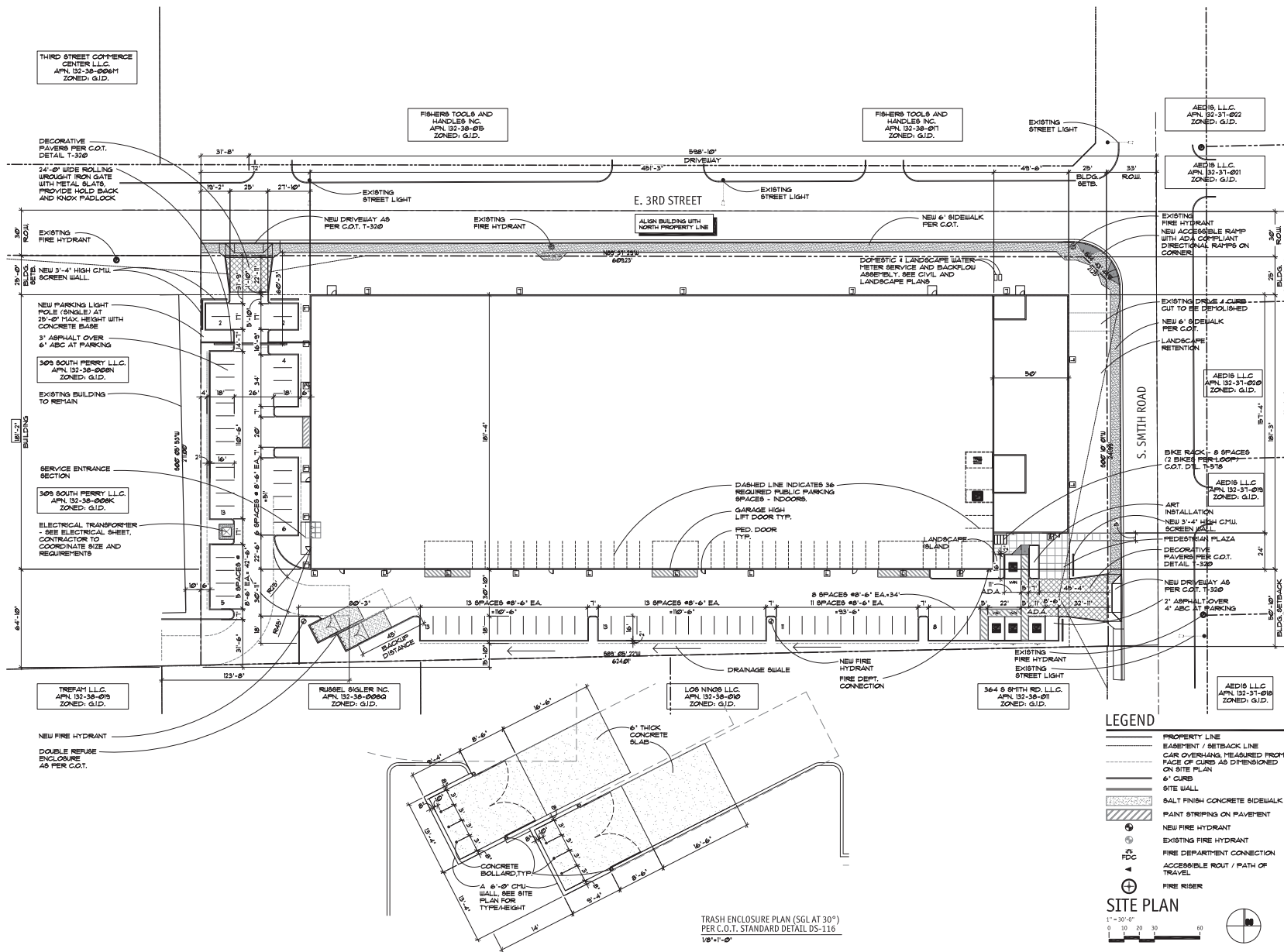
SITE PLAN



DS160021

PL180002

REC18028



SITE DATA

PROJECT: PRECISION FLEET SERVICES
PROJECT ADDRESS: 360 S. SMITH ROAD
 TEMPE, ARIZONA
OWNER INFO: PRECISION FLEET SERVICES, LLC.
 5941 E. THERO ST.
 TEMPE, AZ 85281
 T. 402-465-8408
DEVELOPER: GARDEN COMPANIES
 2725 W. WILLIAMS DR. SUITE 4
 TEMPE, ARIZONA 85027

SCOPE: PRECISION FLEET SERVICES PROPOSES A FAMILY OWNED & OPERATED INDUSTRIAL DEALERSHIP THAT SPECIALIZES IN THE SALE & SERVICE OF ALL IMPORT AND DOMESTIC VEHICLES. PROPOSED INDOOR CLIMATE-CONTROLLED VEHICLE SHOWROOM AT NEARLY 238,185 S.F. + 14,150 S.F. OFFICE.

LEGAL DESCRIPTION: A PORTION OF THE M&A, S&A, SECTION 13, T.14N, R.14E, M&A S&A T.14N R.14E, AND M&A S&A T.14N R.14E, MARICOPA COUNTY, ARIZONA

ASSESSOR PARCEL ID: 132-38-008M
ZONING: GID (GENERAL INDUSTRIAL DISTRICT)
SITE AREA: 157,607 S.F. - NET (3.62 ACRES)
 185,073 S.F. - GROSS (4.25 ACRES)
BUILDING AREA: GROUND FLOOR OFFICE = 7,759 S.F. GROSS
 GROUND LEVEL GARAGE = 81,819 S.F. GROSS
 SECOND FLOOR OFFICE = 6,391 S.F. GROSS
 INTERMEDIATE LEVEL GARAGE = 77,995 S.F. GROSS
 ROOF LEVEL GARAGE = 78,371 S.F. GROSS
TOTAL: = 252,335 S.F. GROSS

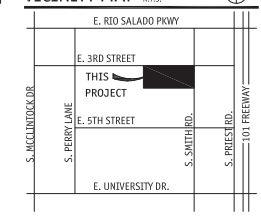
STORIES: THREE STORY
LOT COVERAGE: 89,215 S.F. FOOTPRINT / 157,607 S.F. NET SITE = 57%
LANDSCAPE AREA: 31,131 S.F.
LANDSCAPE COVERAGE: 1,822 S.F. (5.8%)
OCCUPANCY: 8 / 5-2 NON-SEPARATED
OCCUPANCY LOAD: 5-2-476 OCCUPANTS
CONSTRUCTION TYPE: III-B (FULLY SPRIELED)
ALLOWABLE AREA: 97,012 S.F. (PER STORY)
CLEAR HEIGHT: 24'-0" MAX
STRUCTURAL DEPTH: 3'-0"
SLOPE DEPTH: 1/4" PER 1'-0" MIN.
SCREENING HEIGHT: 60' MAX
BUILDING HEIGHT: 55'-0" MAX
BUILDING SETBACKS:

	REQUIRED	PROVIDED
FRONT	25'	25'
REAR	0	10'
STREET SIDE	25'	25'
TO DRIVEWAY	20'	30'

PARKING CALCULATIONS

	1ST FLOOR	2ND FLOOR	TOTALS
AREA CALC.	7,759	6,391	14,150
OFFICE	238,185		238,185
WAREHOUSE			252,335
TOTAL:			252,335
REQUIRED PARKING CALES			
OFFICE	34,150	300	48
WAREHOUSE	157-10,000	500	20
WAREHOUSE	222,380	5000	45
TOTAL:			113
PARKING PROVIDED			78
TOTAL INTERIOR WAREHOUSE SPACES			616
TOTAL INTERIOR WAREHOUSE PUBLIC SPACES			34
TOTAL INTERIOR WAREHOUSE PUBLIC ACCESSIBLE SPACES			2
TOTAL SPACES ON SITE			730
BICYCLE PARKING CALES			PROVIDED 8

VICINITY MAP



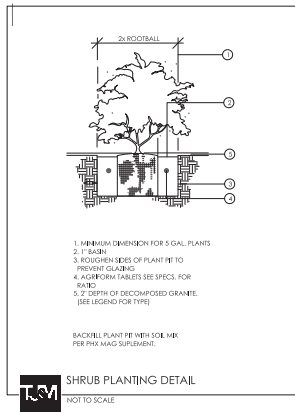
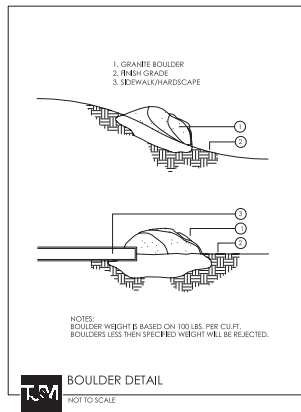
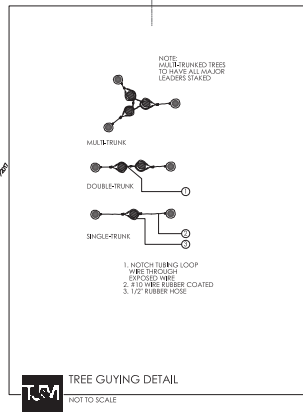
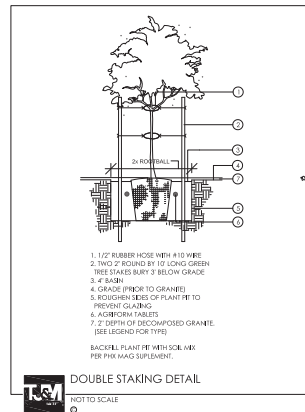
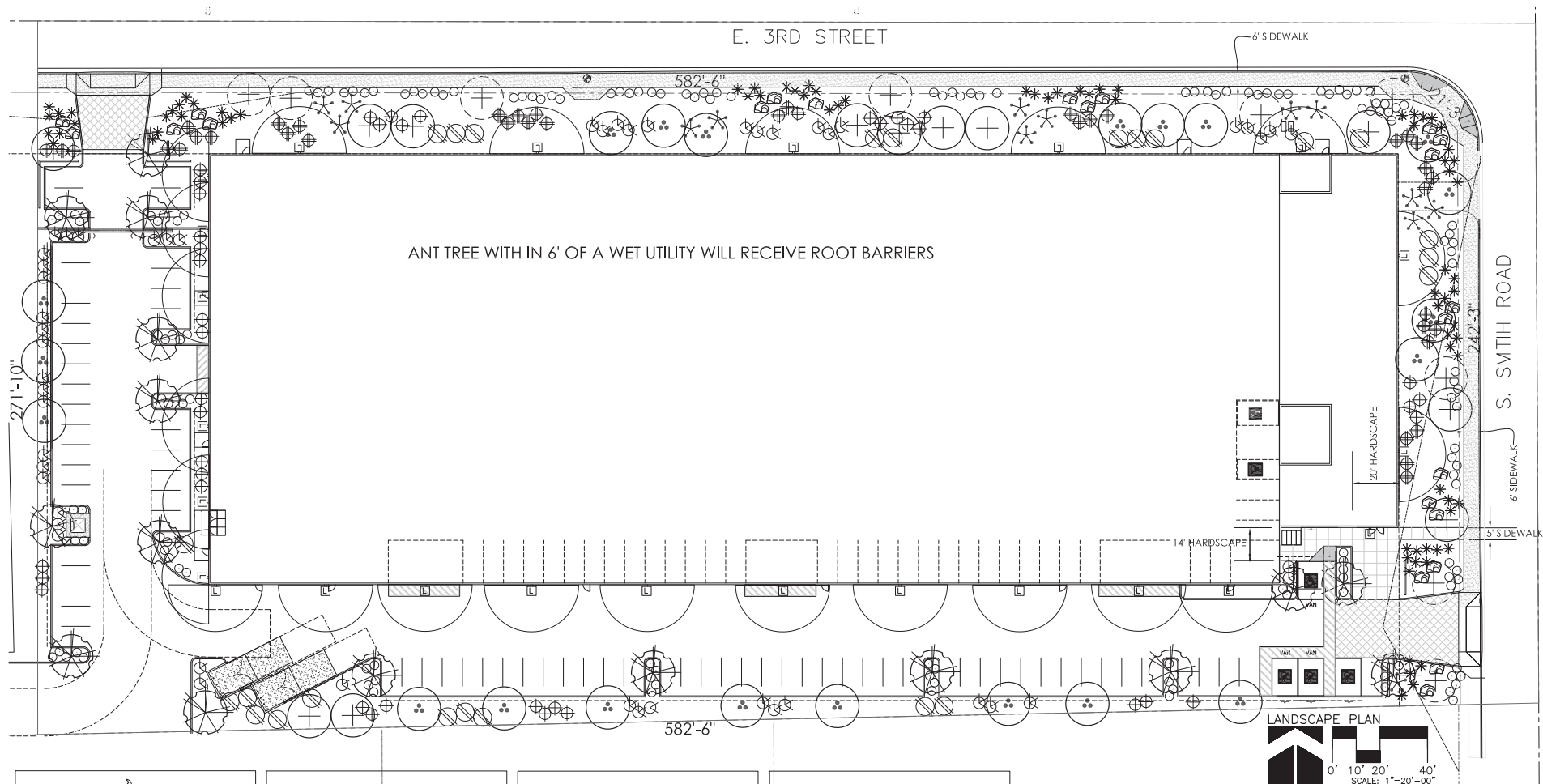
PRECISION FLEET SERVICES
 360 SOUTH SMITH ROAD
 TEMPE ARIZONA

DATE
 DRAFT/USE PERMIT
 FINAL SUBMITTAL
 05-07-2018

NOTICE OF ALTERNATE BILLING CYCLE:
 The contractor shall bill the owner for the amount of the contract price for the work performed during the billing cycle. The contractor shall submit a bill for the amount of the contract price for the work performed during the billing cycle. The contractor shall submit a bill for the amount of the contract price for the work performed during the billing cycle.

NOTICE OF ALTERNATE BILLING CYCLE:
 The contractor shall bill the owner for the amount of the contract price for the work performed during the billing cycle. The contractor shall submit a bill for the amount of the contract price for the work performed during the billing cycle. The contractor shall submit a bill for the amount of the contract price for the work performed during the billing cycle.

Project: PFS
A1.2



LANDSCAPE LEGEND

- | | | | |
|--|--------------------------|--|-----------------------|
| | CERCIDIUM DESERT MUSEUM | | LANтана MONTEVIDENSIS |
| | DESERT MUSEUM PALO VERDE | | 'GOLD MOUND' 5 GALLON |
| | 1.5\"/> | | |

T.J. McQUEEN & ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE
 URBAN DESIGN
 SITE PLANNING
 10450 N. 74th Street, Suite 120
 Scottsdale, Arizona 85258
 P: (602) 285-5320
 EMAIL: tmmcqueen@tjma.net



Project: PFS

La.01

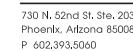
CAWLEY ARCHITECTS
 730 N. 52nd St. Ste. 203
 Phoenix, Arizona 85008
 P: 602.393.5060
 CawleyArchitects.com

PRECISION FLEET SERVICES

360 SOUTH SMITH ROAD
 TEMPE ARIZONA
 DATE
 D/R/P/AD/ USE PERMIT
 SECOND SUBMITTAL
 03-19-2018

NOTICE OF ALTERNATE BILLING CYCLE:
 This contract shall be the owner to make payment of all bills within 15 days of completion of work. If the owner fails to make payment within 15 days of completion of work, the owner shall be deemed to have accepted the work and shall be responsible for payment of all bills within 15 days of completion of work.

THE ARCHITECTURAL DESIGN AND DATA DEVELOPED BY THESE DOCUMENTS IS THE PROPERTY OF T.J. McQUEEN & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF T.J. McQUEEN & ASSOCIATES, INC.



DATE
D.R./P.A.D./ USE PERMIT
FINAL SUBMITTAL
05-07-2018

This contract allows the owner to require submission of loadings or estimates in loading cycles other than thirty days. A written description of such other loading cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide this within description upon request.

Discrepancies between BAA amounts and these documents shall be reported to the General Contractor prior to commencement of work.

A2.1





PRECISION
FLEET
SERVICES

360 SOUTH
SMITH ROAD
TEMPE
ARIZONA

DATE
D.R./P.A.D./ USE PERMIT
FINAL SUBMITTAL
05-07-2018

NOTICE OF ALTERNATE BILLING CYCLE:
This contract allows the owner to require

Submission of findings or estimates in finding cycles other than thirty days. A written description of such other finding cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide this written description upon request.

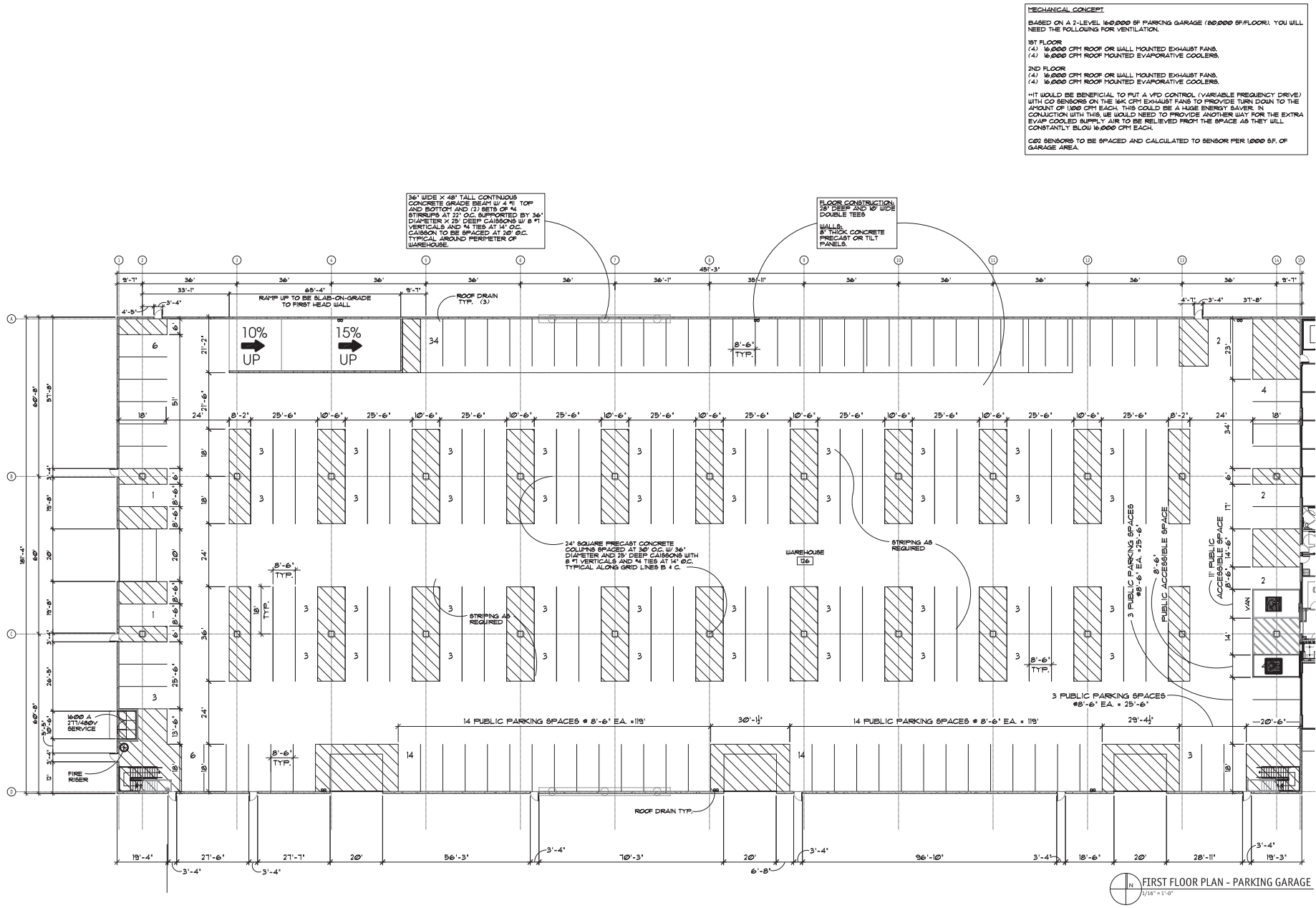
The architectural design and data presented in these documents is an instrument of service provided by Crawley Architects.

If discrepancies found in these documents, or conflicts between these documents and actual field conditions shall be reported to Cowley Architects for resolution prior to commencement of the work.

Discrepancies between bill amounts and these documents shall be reported to the General Contractor prior to commencement of work.

Project: PFS

A2.2.1



MECHANICAL CONCEPT

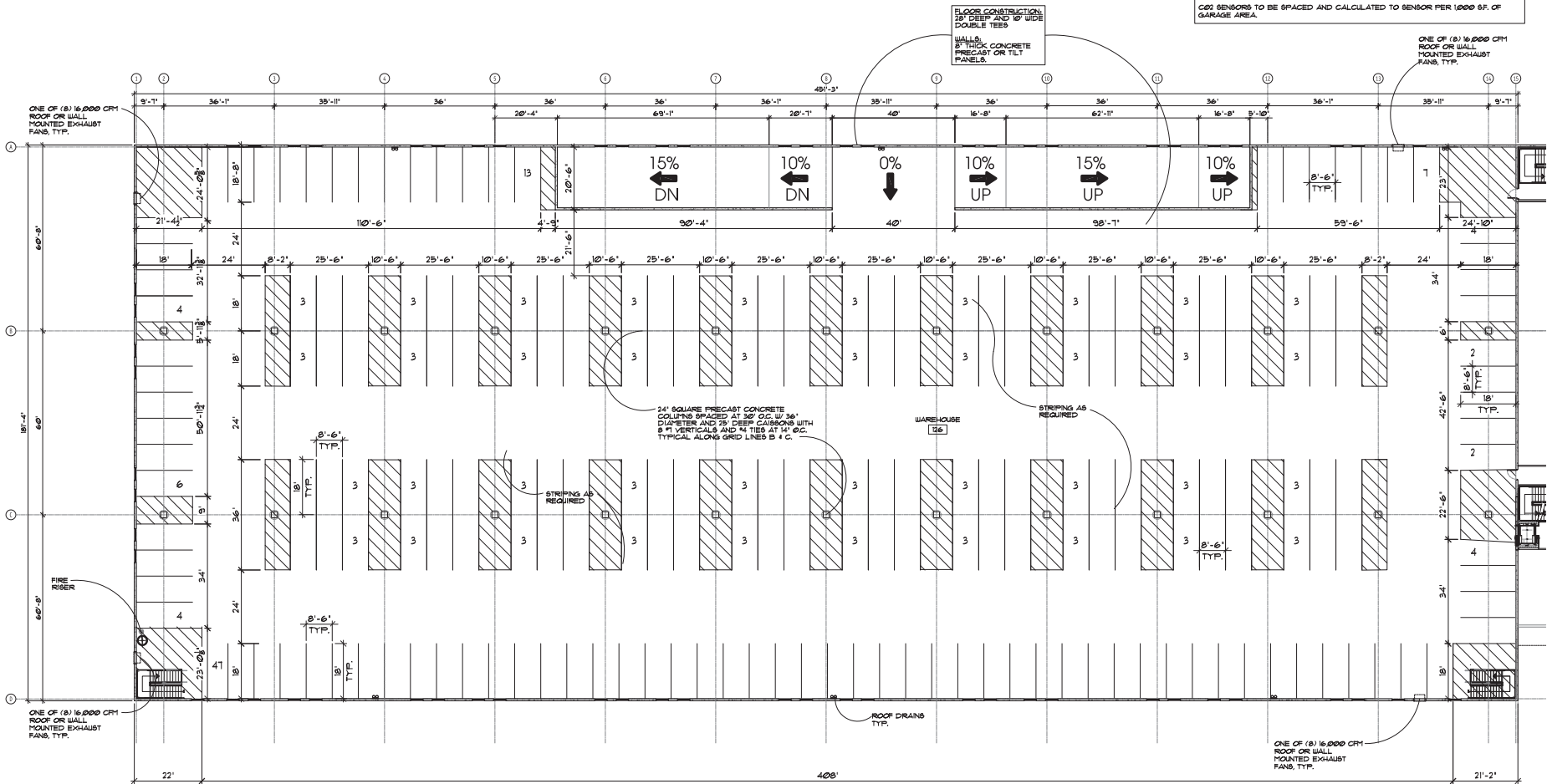
BASED ON A 2-LEVEL 160,000 SF PARKING GARAGE (80,000 SF/FLOOR), YOU WILL NEED THE FOLLOWING FOR VENTILATION:

1ST FLOOR
(4) 16,000 CFM ROOF OR WALL MOUNTED EXHAUST FANS,
(4) 16,000 CFM ROOF MOUNTED EVAPORATIVE COOLERS.

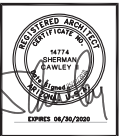
2ND FLOOR
(4) 16,000 CFM ROOF OR WALL MOUNTED EXHAUST FANS,
(4) 16,000 CFM ROOF MOUNTED EVAPORATIVE COOLERS.

IT WOULD BE BENEFICIAL TO PUT A VFD CONTROL (VARIABLE FREQUENCY DRIVE) WITH CO SENSORS ON THE 16K CFM EXHAUST FANS TO PROVIDE TURN DOWN TO THE AMOUNT OF 1000 CFM EACH. THIS COULD BE A HUGE ENERGY SAVER. IN CONJUNCTION WITH THIS, WE WOULD NEED TO PROVIDE ANOTHER WAY FOR THE EXTRA EVAP COOLED SUPPLY AIR TO BE RELIEVED FROM THE SPACE AS THEY WILL CONSTANTLY BELOW 16,000 CFM EACH.

CO2 SENSORS TO BE SPACED AND CALCULATED TO SENSOR PER 1000 SF OF GARAGE AREA.



INTERMEDIATE LEVEL PLAN - PARKING GARAGE
1/16" = 1'-0"



PRECISION FLEET SERVICES

360 SOUTH SMITH ROAD
TEMPE ARIZONA

DATE
D.R./P.A.D./USE PERMIT
FINAL, SUBMITTAL
05-07-2018

NOTICE OF ALTERNATE BIDDING CYCLE:
The contractor shall be responsible to make a copy of this document to be included in the bid set. The contractor shall be responsible to make a copy of this document to be included in the bid set. The contractor shall be responsible to make a copy of this document to be included in the bid set.

The architect and design and data prepared by these documents are intended for use by the contractor or service provided by Cawley Architects.

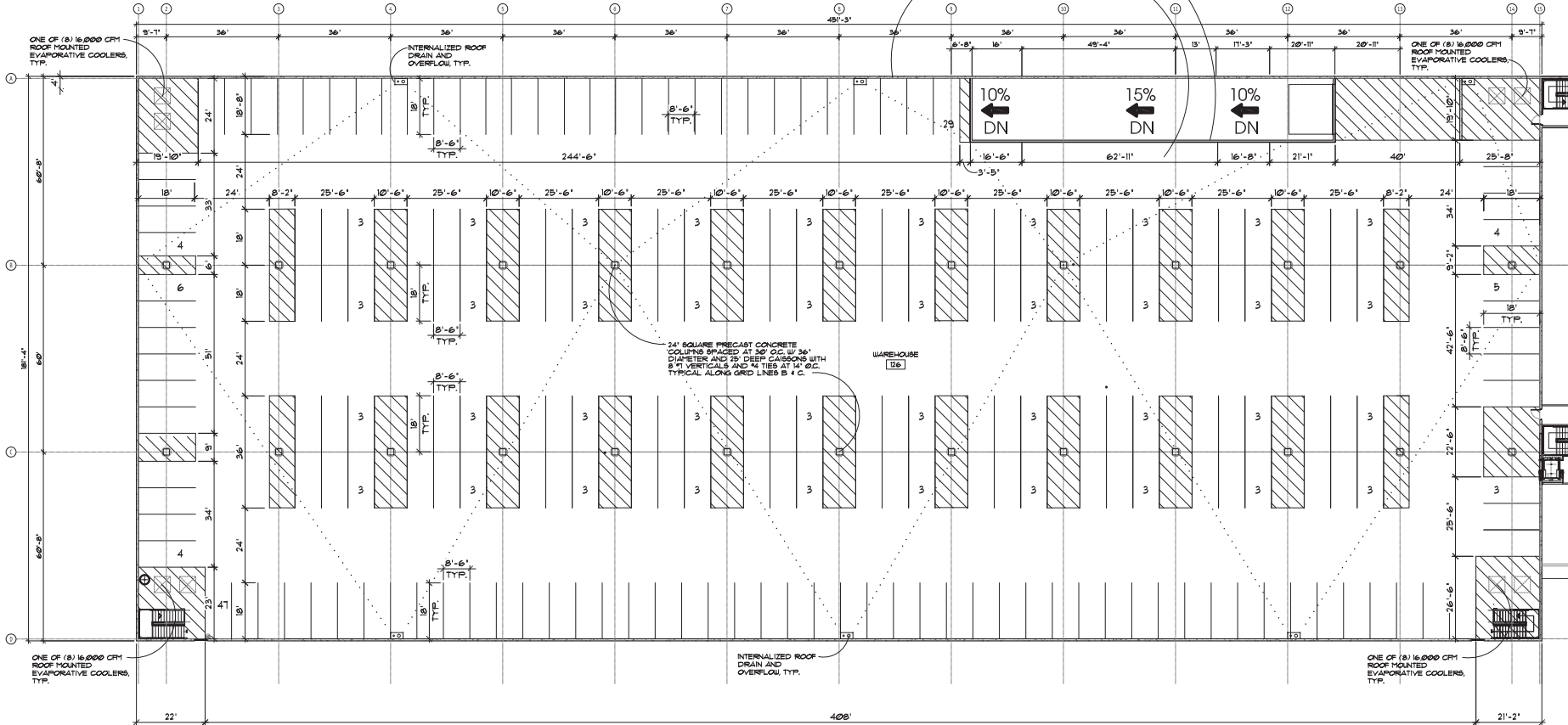
All dimensions shown in these documents, or in any other documents, shall be taken from the center of the member unless otherwise indicated. All dimensions shall be taken from the center of the member unless otherwise indicated.

Discrepancies between these documents and the General Contract shall be resolved by the General Contractor's interpretation of the documents.

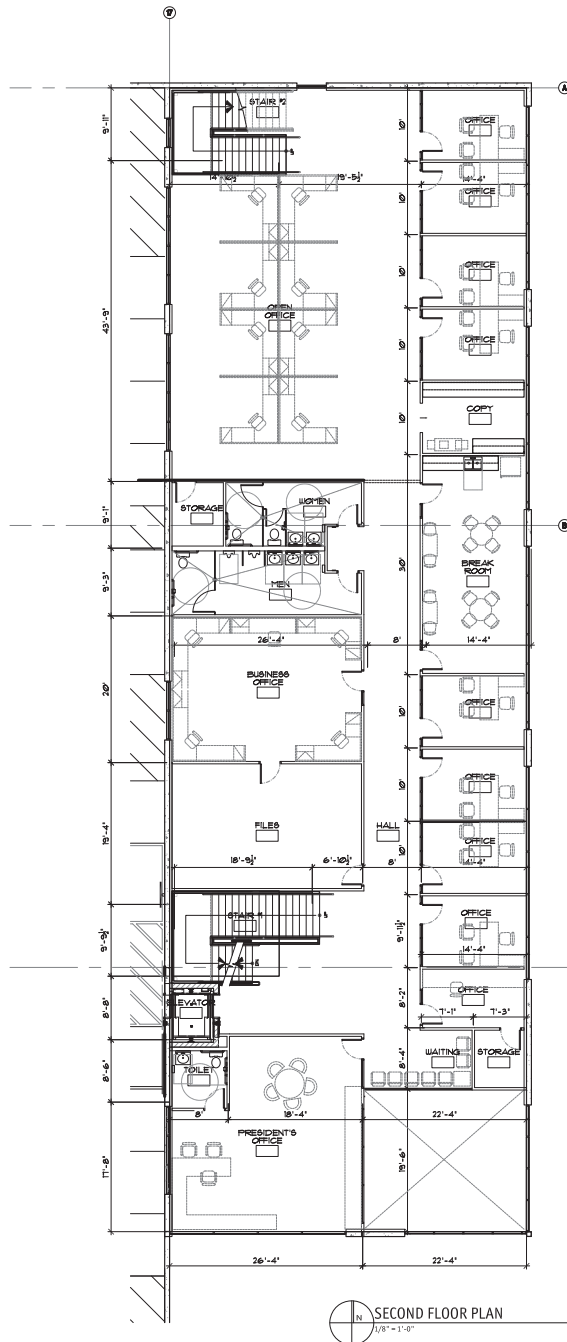
Project: PFS
A2.2.3

MECHANICAL CONCEPT
BASED ON A 2-LEVEL 160,000 SF PARKING GARAGE (80,000 SF/FLOOR), YOU WILL NEED THE FOLLOWING FOR VENTILATION:
1ST FLOOR
(4) 16,000 CFM ROOF OR WALL MOUNTED EXHAUST FANS.
(4) 16,000 CFM ROOF MOUNTED EVAPORATIVE COOLERS.
2ND FLOOR
(4) 16,000 CFM ROOF OR WALL MOUNTED EXHAUST FANS.
(4) 16,000 CFM ROOF MOUNTED EVAPORATIVE COOLERS.
***IT WOULD BE BENEFICIAL TO PUT A VFD CONTROL (VARIABLE FREQUENCY DRIVE) WITH CO SENSORS ON THE 16K CFM EXHAUST FANS TO PROVIDE TURN DOWN TO THE AMOUNT OF 1000 CFM EACH. THIS WOULD BE A HUGE ENERGY SAVER. IN CONJUNCTION WITH THIS, WE WOULD NEED TO PROVIDE ANOTHER WAY FOR THE EXTRA EVAP COOLED SUPPLY AIR TO BE RELIEVED FROM THE SPACE AS THEY WILL CONSTANTLY BELOW 16,000 CFM EACH.
CO2 SENSORS TO BE SPACED AND CALCULATED TO SENSOR PER 1000 SF OF GARAGE AREA.

CUPOLA TO BE CONSTRUCTED OF METAL, PRIVATE AND E.I.P.A.
FLOOR CONSTRUCTION: 25" DEEP AND 10" WIDE DOUBLE TEES
WALLS: 8" THICK CONCRETE PRECAST OR TILT PANELS.



ROOF LEVEL PLAN - PARKING GARAGE
1/16" = 1'-0"



PROVIDE 24 SF. WALK-OFF CARPET AT ALL DOORS FROM WAREHOUSE TO OFFICE.

PROVIDE 3-STOP ELEVATOR FOR SCHEME 'B'.

PROVIDE 24 SF. WALK-OFF CARPET AT ALL DOORS FROM WAREHOUSE TO OFFICE.

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PROVIDE 24 SF. WALK-OFF CARPET AT ALL DOORS FROM WAREHOUSE TO OFFICE.

PROVIDE 3-STOP ELEVATOR FOR SCHEME 'B'.

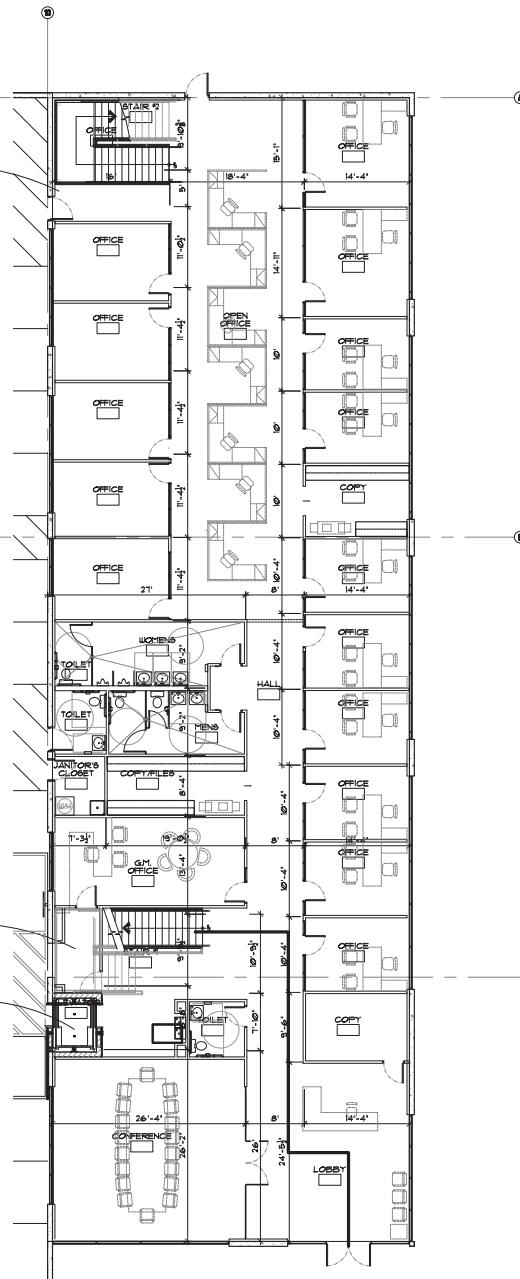
PROVIDE 24 SF. WALK-OFF CARPET AT ALL DOORS FROM WAREHOUSE TO OFFICE.

PROVIDE 3-STOP ELEVATOR FOR SCHEME 'B'.

PROVIDE 24 SF. WALK-OFF CARPET AT ALL DOORS FROM WAREHOUSE TO OFFICE.

PROVIDE 3-STOP ELEVATOR FOR SCHEME 'B'.

PROVIDE 24 SF. WALK-OFF CARPET AT ALL DOORS FROM WAREHOUSE TO OFFICE.



ROOF FRAMING:
PANELIZED FRAMING OVER 2x6
PILING AT 24" O.C.
ROOF FRAMING:
2x10 STEEL JOISTS AT 8'-0"
CLEAR SPAN BETWEEN PRECAST
WALLS

FLOOR SLAB:
2" 11 CONCRETE OVER 1/2" X 3/8
G.I. COMPOSITE FLOOR DECK (4"
TOTAL THICKNESS)
FLOOR FRAMING:
BKS STEEL JOISTS AT 4'-8" O.C.
W4x8 STEEL GIRDER BEAMS
HRS 6"x6"x1/2" STEEL COLUMNS

ELECTRICAL

- 1600 A 277 / 480 V SERVICE WITH SINGLE
METER INSTALLED
- PROVIDE SINGLE LAMP METAL HALIDE WALL
PACKS BLDG MOUNT FOR SECURITY LIGHTING
FULL PERIMETER OF EXTERIOR
- PROVIDE (2) LAMP FLUORESCENT LIGHTING W/
EMERGENCY BATTERY BACKUP AT
EXTERIOR EXIT DOORS
- ALL EXTERIOR LIGHTING TO BE CONTROLLED
VIA A PHOTOCELL (DARK TO DAWN) ON THE
CLOCK
- PROVIDE 2x4 INDIRECT LED
FIXTURES AT ALL OFFICES
- PROVIDE HI BAY FLUORESCENT LIGHTING AT
WAREHOUSE 1-3 HO
- PROVIDE CONDUIT 4-J-BOX FOR FUTURE
AUTOMATIC GATE CONTROLLERS AT YARD
GATES PER SITE PLAN
- PROVIDE POLE LIGHTING AT PARKING AREAS
SITE AND DUMPSTER

MILLWORK / FURNITURE

- ALL MILLWORK BASE AND UPPERS TO HAVE AN
ALLOWANCE BY G.C. INCLUDING BUILT-IN
RECEPTION DESK
- EXTRA HAZARD GROUP 2 LIQUID PIPE SYSTEM
WITH RISER, LATERALS, HEADS FLOW AND
TAMPER BUTCHES, ALARMS AND ENGINEERING

FIRE SPROCKLES

- ONE TON 250 SF AIR CONDITIONING AT
OFFICES
- PROVIDE HAVE 4" OR 6" DIA PER CODE ROOF
DRAINS
- SHOP TOILET ROOM TO HAVE FLOOR DRAIN

SCOPE

SCHEME 'A' - 24' CLEAR 32' HIGH CONC. TILT
OFFICE/WAREHOUSE BUILDING WITH SINGLE METER
SEA. THIS SCHEME DOES NOT HAVE AN
INTERMEDIATE GARAGE LEVEL.

SCHEME 'B' - 24' CLEAR 48' HIGH CONC. TILT
OFFICE/WAREHOUSE BUILDING WITH SINGLE METER.
THIS SCHEME HAS AN INTERMEDIATE GARAGE
LEVEL.

SLAB

- 3500 PSI - 5" CONCRETE FLOOR
- CRUSHED ROCK ABC
- CALLICED RAW CUTS EVERY 5'
- FLOOR TO BE SEALED WITH VOLCO-PRF OR
EQUAL SEALER

FLOORING

- OFFICE HALLWAYS, STAIRS, LOBBY, COPY
AREAS AND BREAK ROOM TO BE LEVEL 4
POLISHED AND SEALED CONCRETE.
- TOILET ROOMS TO BE CERAMIC TILE FLOOR, 4"
WANSOT AT SET WALL, AND GYP.
- WAREHOUSE TO BE VOLC. COMP OR EQUAL
SEALED CONCRETE
- ALL OFFICES + CONFERENCE ROOMS TO BE
CARPET TILE.

INTERIOR WALLS

- OFFICES + CORRIDORS TO BE 5/8" GYP. BD.
OVER STEEL FRAMING LEVEL 4 FINISH (TWO
COATS LATEX PAINT)
- TOILET ROOMS LOCATED AT OFFICE AREAS TO
BE CERAMIC TILE WANSOT (4"-6" APP) OVER
UNGRS GREENBOARD AT SET WALL AND
ADJACENT WALLS
- TOILET ROOMS LOCATED AT WAREHOUSE AREA
TO BE FRP WANSOT (4"-6" APP) OVER UNGRS
GREENBOARD AT SET WALL AND ADJACENT
WALLS
- FURNING AT EXTERIOR WALLS TO BE 3-5/8"
STEEL STUD W/ R-11 FIBERGLASS INSULATION
FULL HEIGHT TO ROOF DECK INSULATION
- UN-INSULATED EXTERIOR WALLS AT WAREHOUSE
AREAS TO BE EXPOSED CONCRETE TILT -
CONTRACTOR TO PROVIDE ADD ALTERNATE
FOR PAINTED INTERIOR WALLS.

CEILING

- OFFICE CEILING TO BE ARMSTRONG SECOND
LOOK 2' x 4' SUSPENDED CEILING + 10'-0" APP.
- TOILET ROOM CEILING TO BE HARD LID
- CONFERENCE ROOM CEILING TO HAVE
COFFERED GYP. BD. COVE WITH INTEGRAL
PERIMETER LIGHTING
- WAREHOUSE AREA TO BE OPEN TO STRUCTURE
ABOVE - PROVIDE R-11 BACKED INSULATION
AT ROOF DECK WITH WHITE SCOT

2ND FLOOR

- SECOND FLOOR OFFICE TO BE STEEL TRUSS
AND CONCRETE WITH STEEL AND CONCRETE
PAN STAIRS TYP. (2)
- SEE PLANS FOR INTERMEDIATE GARAGE
LEVELS

ROOF

- HYBRID OFFICE ROOF SYSTEM WITH STEEL
TRUSS ORDERS, STEEL OR WOOD TRUSSES,
WOOD LEDGERS, WOOD OMS PANELIZED ROOF
WITH 6" WOOD SUB FURLING
- SEE PLANS FOR SECOND FLOOR GARAGE

ROOFING

- OFFICE - 10 YEAR NO LEAK GUARANTEED FOAM
ROOF 11 GALLONS PER 100 SF DIATHON TOP
COAT ON 15 GALLONS PER 100 SF OF UNITED
COATINGS DIATHON ACRYLIC ELASTOMERIC
BASE COAT W/ 1/2" WHITE CERAMIC ROOFING
GRANULES + 40 LBS / 100 SF IN NET BASE
COAT ON SPREAD-ON 1" NOMINAL BAP
83501 POLYURETHANE 2.5 - 3.0 LB DENSITY
URETHANE FOAM TO MEET UL 750
SPECIFICATIONS

INSULATION

- R-11 BATT INSULATION WITH WHITE SCIRM AT
UNDERSIDE OF ENTIRE WAREHOUSE ROOF
AREA
- R-30 BATT INSULATION AT UNDERSIDE OF
ENTIRE OFFICE ROOF AREA

DOORS / WINDOWS

- OFFICES TO HAVE 3'-0" X 8'-0" S.C. DOORS
THROUGHOUT N WESTERN-INTEGRATED FRAME
WITH STORMKIT THE ENTIRE WIDTH OF EACH
OFFICE.
- WAREHOUSE AREA EXTERIOR MAN DOORS TO
BE STEEL DOORS IN HOLLOW METAL FRAME
- EXTERIOR OVERHEAD DOORS TO BE
UN-INSULATED 16' X 14' 24 GA SECTIONAL
DOORS
- ALL INTERIOR GLASS TO BE CLEAR

MECHANICAL / PLUMBING

- ALL OFFICE SPACES TO BE AIR CONDITIONED
WAREHOUSE AREA TO BE PROPER VENTILATED
WITH THERMID AIR. SEE PLANS
- WAREHOUSE AREA TO HAVE FLOOR DRAIN AND
SAND / OIL INTERCEPTOR (OPTION) AT REAR
DOORS
- ONE TON 250 SF AIR CONDITIONING AT
OFFICES
- PROVIDE HAVE 4" OR 6" DIA PER CODE ROOF
DRAINS
- SHOP TOILET ROOM TO HAVE FLOOR DRAIN



PRECISION
FLEET
SERVICES

360 SOUTH
SMITH ROAD
TEMPE
ARIZONA

DATE
D.R./P.A.D./ USE PERMIT
FINAL SUBMITTAL
05-07-2018

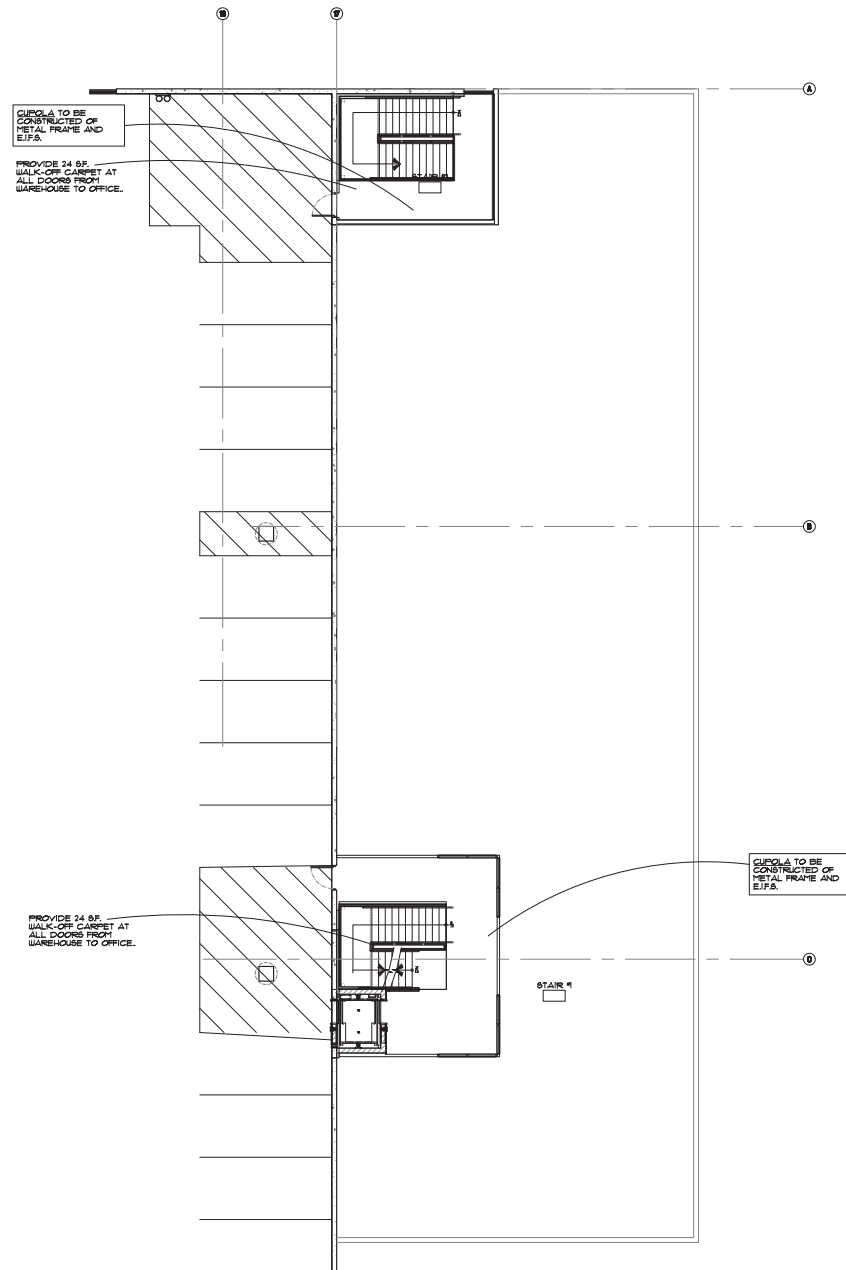
NOTICE OF ALTERNATE BILLING
CYCLE:

This contract allows the owner to require submission of listings or estimates in listings cycles other than thirty days. A written description of such other listing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide this written description upon request.

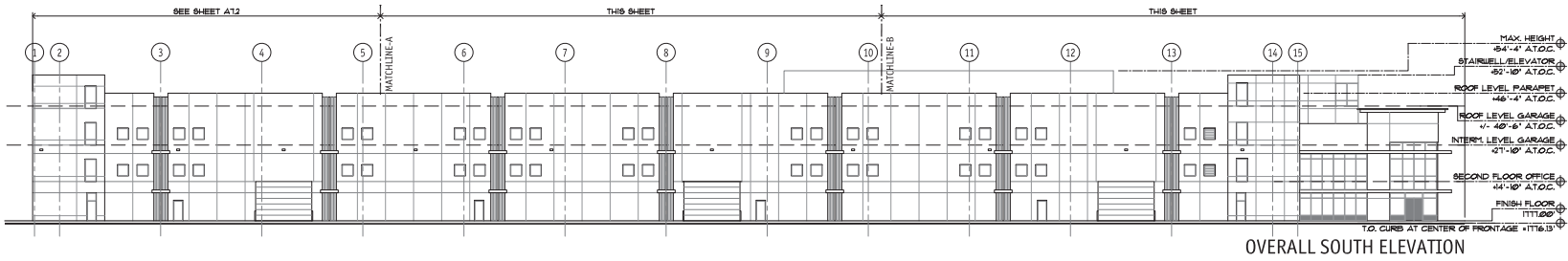
The architectural design and data presented in these documents is an instrument of service provided by Cowi Architects.

Discrepancies between BBS amounts and these documents shall be reported to the General Contractor prior to commencement of work.

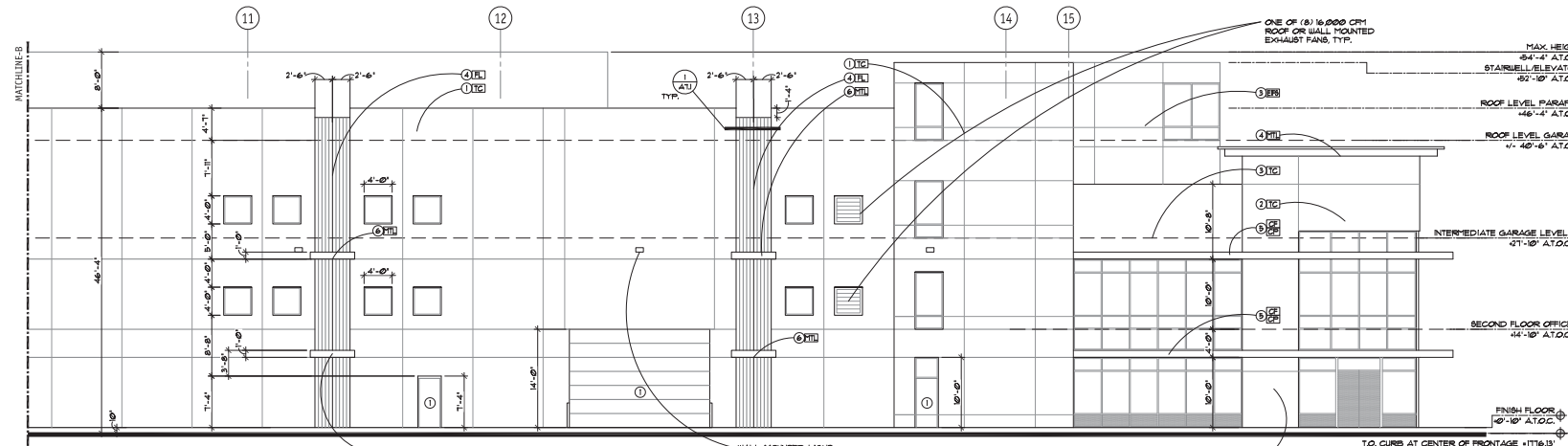
A2.3.2



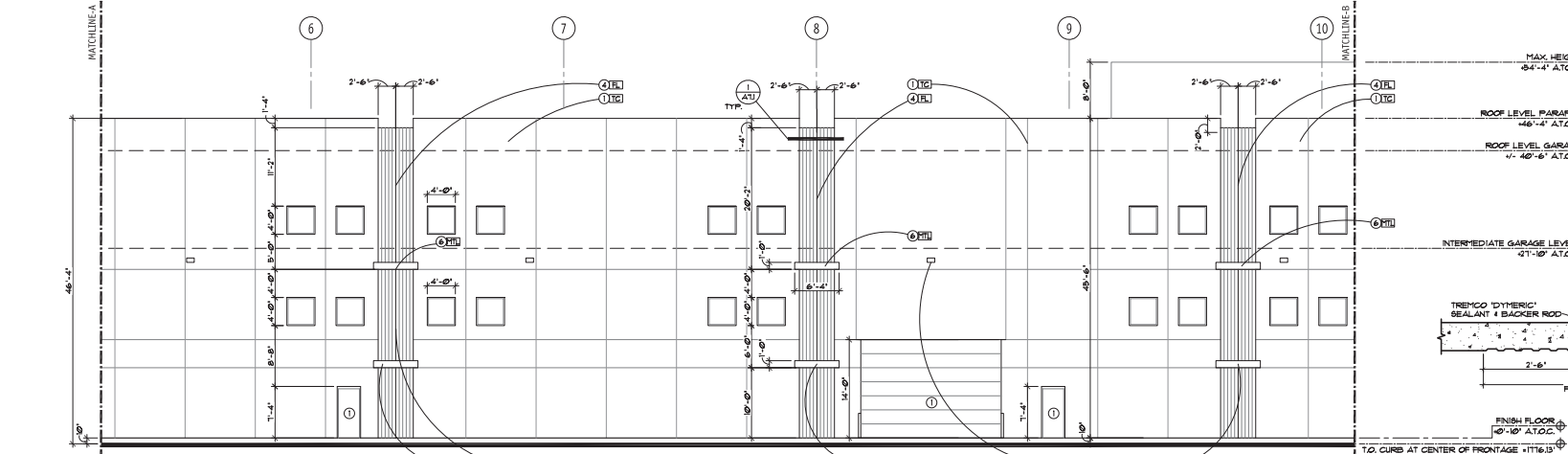
SCHEMES A & B
OFFICE ROOF PLAN



OVERALL SOUTH ELEVATION



ENLARGED PARTIAL SOUTH ELEVATION



ENLARGED PARTIAL SOUTH ELEVATION

GENERAL NOTES

- SEE STRUCTURAL FOR LINTEL INFORMATION.
- SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
- SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL SAMPLE APPROVAL

- PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CHU, ETC.).
- ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ONE SET IN SIZES OF NO LESS THAN 12" X 12".

MATERIAL KEY

MATERIAL	DESCRIPTION
EFB	EXTERIOR INSULATED FINISH SYSTEM (EIFS)
TC	TILT CONCRETE
FL	TILT CONCRETE FORM LINER - MAX 1" DEPTH
FP	FABRICATED METAL PANELS
CF	CANOPY FRAME - 8" STEEL CHANNEL, PAINTED
CD	CANOPY DECK - 5" DECK, NO PERFORATION
FM	FABRICATED METAL ELEMENTS

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	CLEAR ANODIZED ALUMINUM
GLAZINGS	1" INSULATED GLASS REFLECTIVE

INSULATED GLAZING SYSTEM SPECIFICATION
 OLDCASTLE - 1" INSULATED GLAZING SYSTEM
 U-FACTOR: 0.25
 SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.31
 OUTBOARD: 1/4" PPG SOLARCOLOR GRAY (BSP #2)
 AIRSPACE: 1/2" (AIR FILL)
 INBOARD: 1/4" PPG SOLARBAN 60 ON CLEAR (BSP #3)

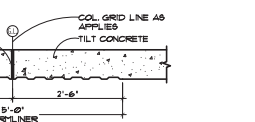
- 9' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
- SEE WINDOW TYPES FOR LOCATIONS OF TINTED GLASS.
- DENOTES TINTING AT GLASS PER IBC 2406.4 HAZARDOUS LOCATIONS

COLOR KEY

KEY	MANUF. - DUNN EDWARDS COLOR NAME
①	RECLAIMED WOOD - DET625
②	SILVERIZIT SILVER DET642
③	METAL FRINGE DET636
④	CHARCOAL SKETCH DET628
⑤	BUTTER SUN DET405
⑥	SILVER SETTING DET355

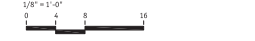
MATERIAL	KEY
EXT. RAILINGS	①
BOLLARDS	②
GATES	③
SES	④
TRANSFORMER	⑤

- SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
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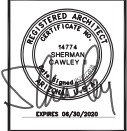
FORMLINER PLAN SCALE: 3/4" = 1'-0"

EXTERIOR ELEVATIONS



730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P 602.393.5060

CawleyArchitects.com



PRECISION FLEET SERVICES

360 SOUTH SMITH ROAD
TEMPE
ARIZONA

DATE
D.R./P.A.D./USE PERMIT
FINAL, SUBMITTAL
05-01-2018

NOTICE OF ALTERNATE BIDDING CYCLE:

The architect design and data prepared by these documents is a preliminary design and is not to be used for construction. The architect design and data prepared by these documents is a preliminary design and is not to be used for construction. The architect design and data prepared by these documents is a preliminary design and is not to be used for construction.

All dimensions shown in these documents, or on any drawings, shall be in feet and inches. All dimensions shall be in feet and inches. All dimensions shall be in feet and inches.

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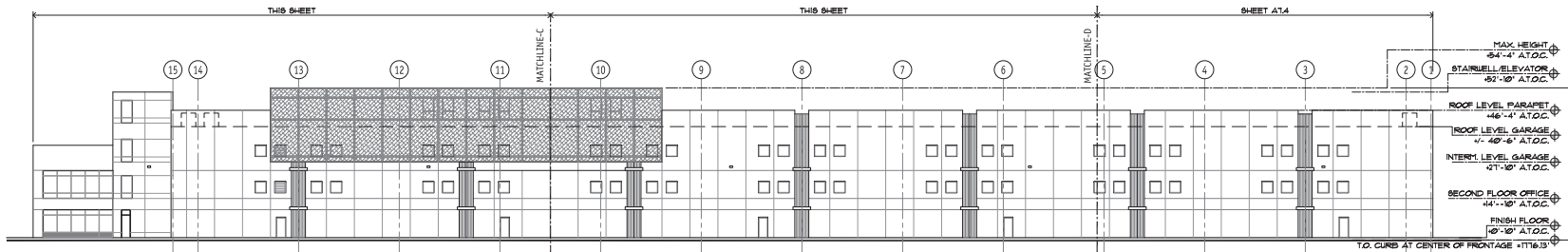
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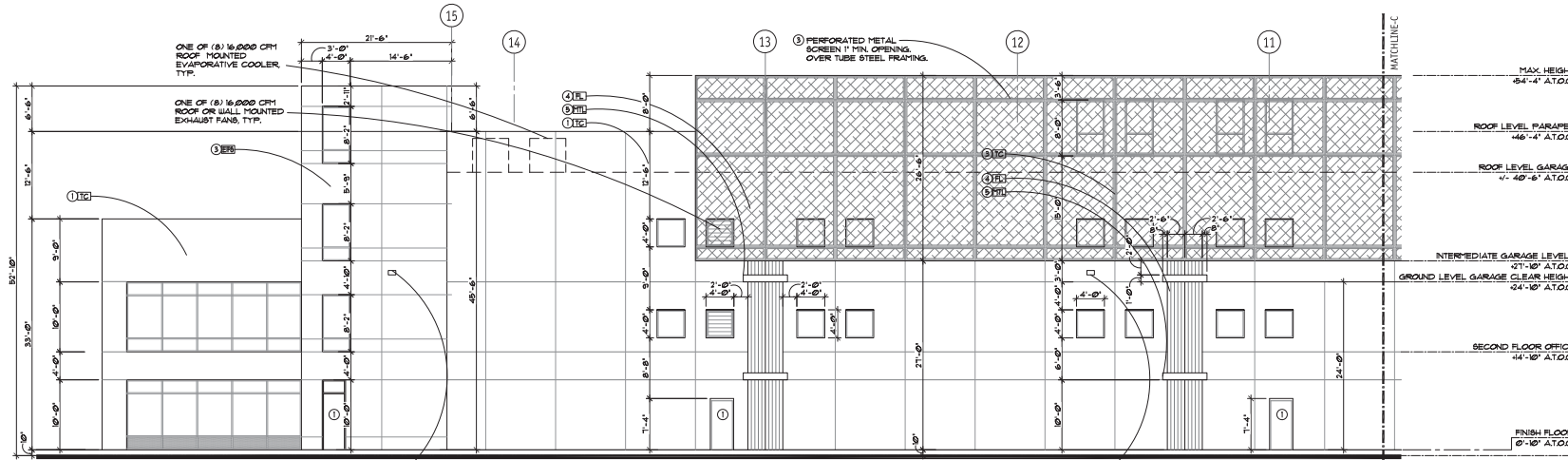
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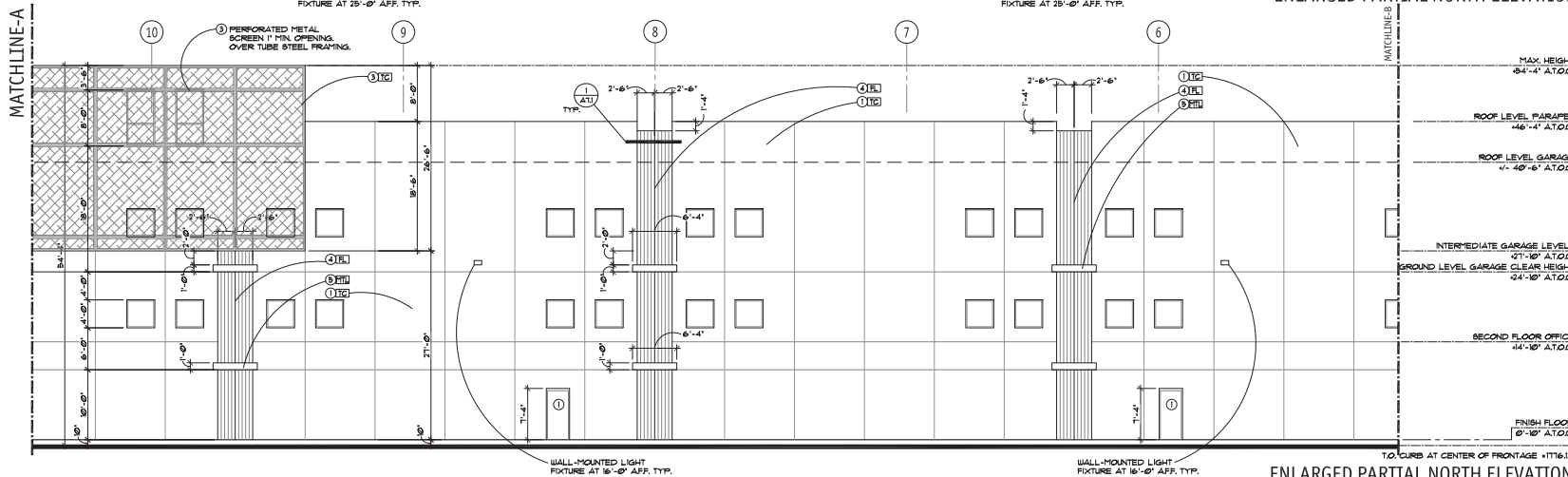
A7.2



OVERALL NORTH ELEVATION



ENLARGED PARTIAL NORTH ELEVATION



ENLARGED PARTIAL NORTH ELEVATION

GENERAL NOTES

- SEE STRUCTURAL FOR Lintel INFORMATION.
- SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
- SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL SAMPLE APPROVAL

- PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (i.e. PAINTED CMU, ETC.).
- ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ON SITE IN SIZES OF NO LESS THAN 1' X 1'.

MATERIAL KEY

MATERIAL	DESCRIPTION
EPB	EXTERIOR INSULATED FINISH SYSTEM (EIFS)
TC	TILT CONCRETE
TL	TILT CONCRETE FORM LINER - MAX 1" DEPTH
FP	FABRICATED METAL PANELS
CF	CANOPY FRAME - 8" STEEL CHANNEL, PAINTED
CD	CANOPY DECK - 8" DECK, NO PERFORATION
FTM	FABRICATED METAL ELEMENTS

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
GLAZING	CLEAR ANODIZED ALUMINUM
INSULATED GLAZING SYSTEM SPECIFICATION	
GLASS	1" INSULATED GRAY REFLECTIVE
OLDCASTLE - 1" INSULATED GLAZING SYSTEM	
U-FACTOR: 0.25	
SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.17	
OUTBOARD: 1/4" PPG SOLARCOOL GRAY (SMP 92)	
INSIDE: 1/2" (AIR FILLS)	
INSIDE: 1/4" PPG SOLARSHADE 60 ON CLEAR (SMP 92)	

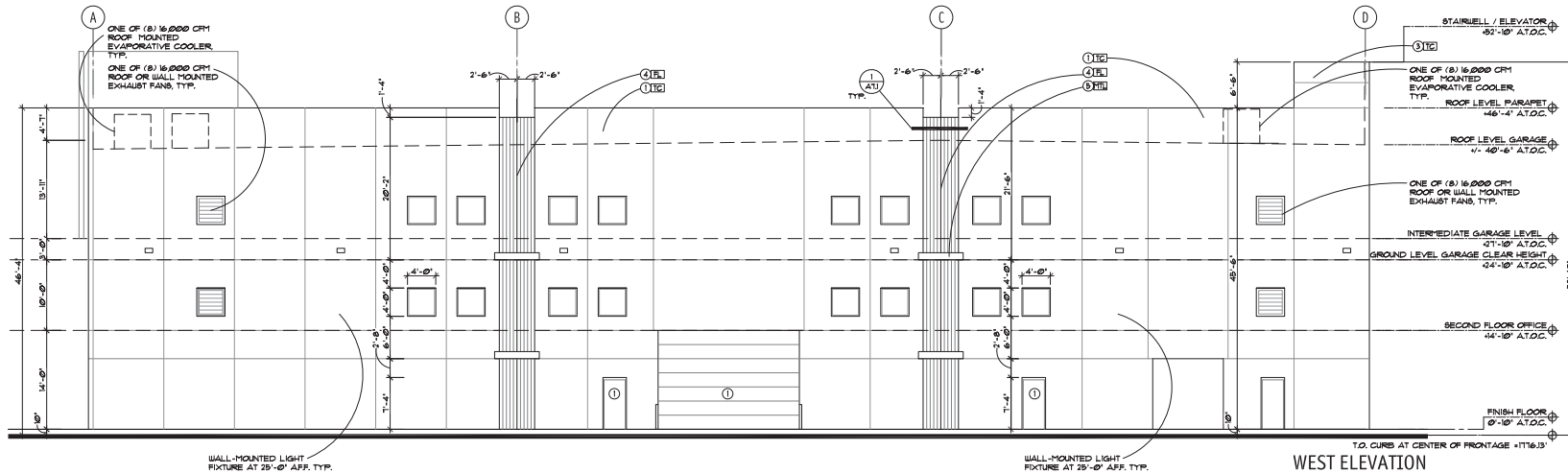
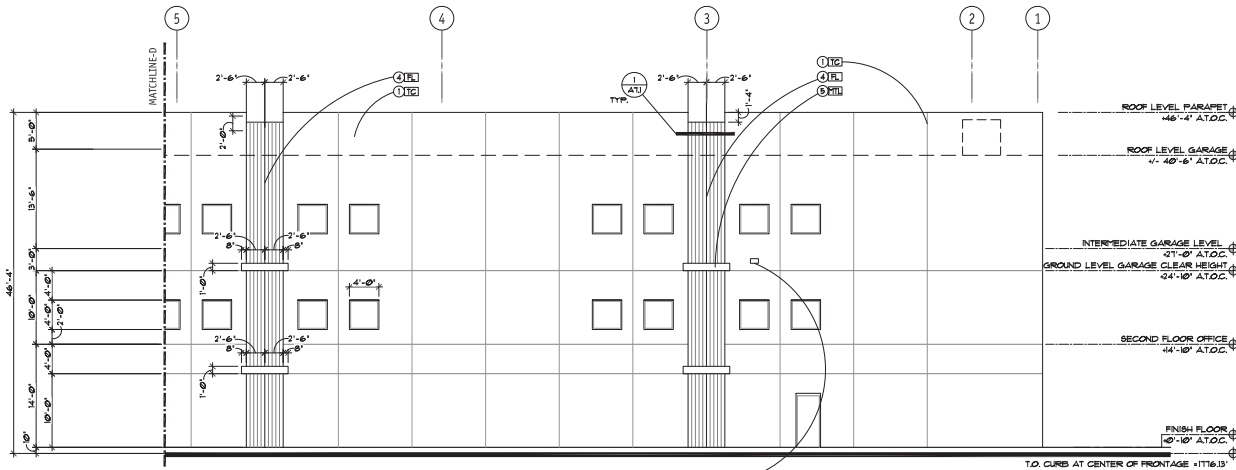
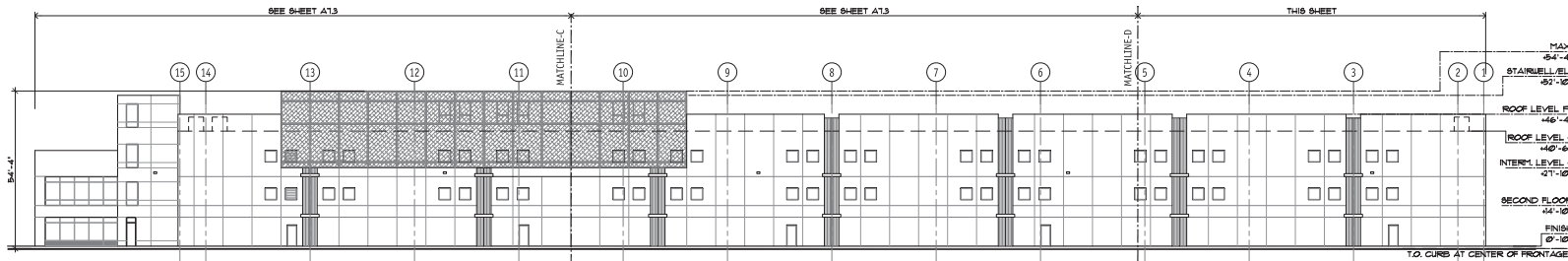
- 1' 8" AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
- SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.
- III DENOTES TEMPERING AT GLASS PER IBC 1406.4 HAZARDOUS LOCATIONS

COLOR KEY

KEY	NAME - DUN EDWARDS COLOR NAME
1	'RECLAIMED WOOD' DET625
2	'SIBOLITZ SILVER' DET62
3	'METAL PRINCE' DET62
4	'CHARCOAL SKETCH' DET628
5	'SUPER SUE' DES-405
6	'SILVER SETTING' DES399

- SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
- PAINTER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
- G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
- G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.





GENERAL NOTES

1. SEE STRUCTURAL FOR Lintel INFORMATION.
2. SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
3. SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL SAMPLE APPROVAL

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2. ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ON SITE IN SIZES OF NO LESS THAN 2' X 2'.

MATERIAL KEY

MATERIAL	DESCRIPTION
EPF	EXTERIOR INSULATED FINISH SYSTEM (SICKOTH)
TC	TILT CONCRETE
TL	TILT CONCRETE FORM LINER - MAX 1" DEPTH
FP	FABRICATED METAL PANELS
CF	CANOPY FRAME - 8" STEEL CHANNEL, PAINTED
CD	CANOPY DECK - B DECK, NO PERFORATION
FTI	FABRICATED METAL ELEMENTS

STOREFRONT / GLAZING KEY

MATERIAL	COLOR
FRAMES	CLEAR ANODIZED ALUMINUM
GLAZING	1" INSULATED GRAY REFLECTIVE
INSULATED GLAZING SYSTEM SPECIFICATION	
OLDCASTLE - 1" INSULATED GLAZING SYSTEM	
U-FACTOR: 0.25	
SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.17	
OUTBOARD: 1/4" PPG SOLARCOOL GRAY (SHGC 0.2)	
AIRSPACE: 1/2" (AIR FILL)	
INBOARD: 1/4" PPG SOLARBAN 60 ON CLEAR (SHGC 0.2)	

1. 'S' AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.
3. ■■■ DENOTES TEMPERING AT GLASS PER IBC 2406.4 HAZARDOUS LOCATIONS

COLOR KEY

KEY	NAME - DUN EDWARDS COLOR NAME
①	'RECLAIMED WOOD' DET625
②	'STIGLITZ SILVER' DET62
③	'METAL PRINCE' DET626
④	'CHARCOAL SKETCH' DET628
⑤	'SILVER SUE' DES-605
⑥	'SILVER SETTING' DES-359

MATERIAL	KEY
EXT. RAILING	①
BOLLARDS	②
GATES	③
SES	④
TRANSFORMER	⑤

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PRECISION FLEET SERVICES
360 SOUTH SMITH ROAD
TEMPE
ARIZONA

DATE
D.R./P.D./U. USE PERMIT
FINAL SUBMITTAL
05-07-2018

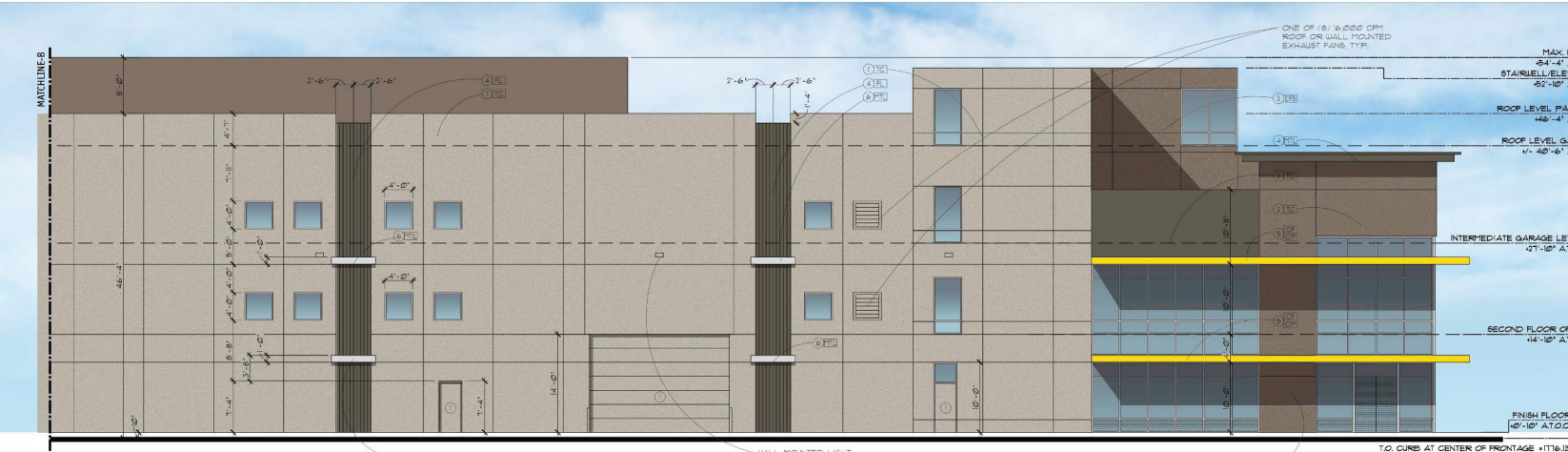
NOTICE OF ALTERNATE BIDDING CYCLE:
The contract shall be open to sealed bids for a period of 30 days. The bids shall be opened at the time and place specified in the contract documents. The bids shall be opened in the presence of the architect and the owner. The bids shall be opened in the presence of the architect and the owner. The bids shall be opened in the presence of the architect and the owner.

The architectural design documents are prepared by the architect and are the property of the architect. The architect shall be responsible for the design and construction of the project. The architect shall be responsible for the design and construction of the project. The architect shall be responsible for the design and construction of the project.

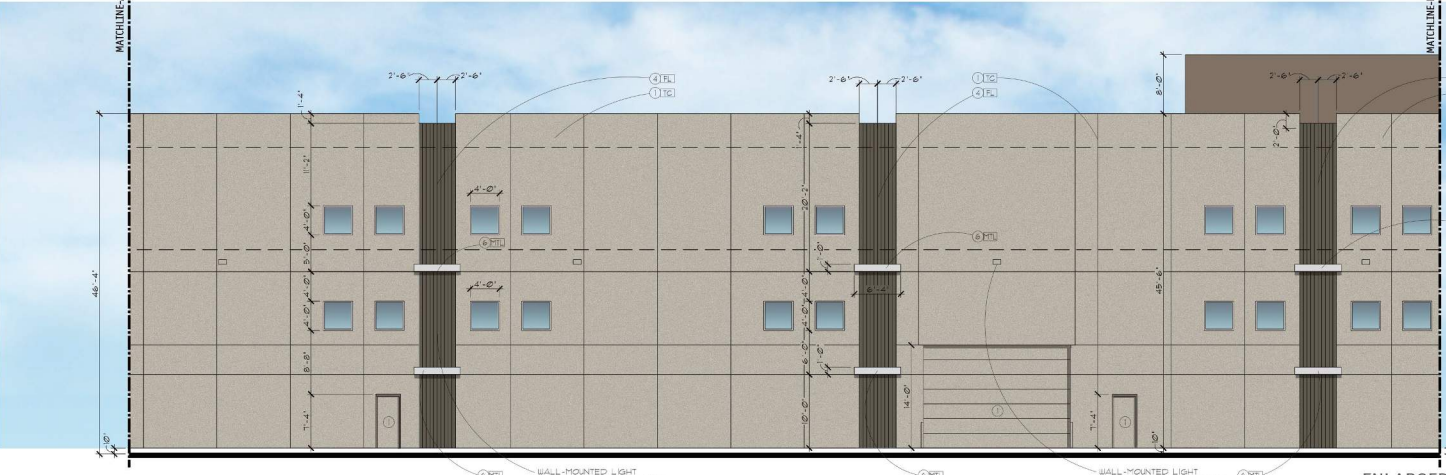
Project: FFS
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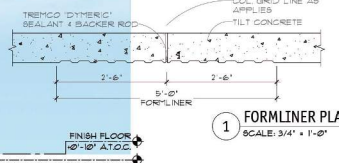
OVERALL SOUTH ELEVATION



ENLARGED PARTIAL SOUTH ELEVATION



ENLARGED PARTIAL SOUTH ELEVATION



FORMLINER PLAN
SCALE: 3/4" = 1'-0"

- GENERAL NOTES**
- SEE STRUCTURAL FOR Lintel INFORMATION.
 - SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
 - SEE STRUCTURAL FOR CONTROL JOINTS.
- MATERIAL SAMPLE APPROVAL**
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- MATERIAL KEY**
- | MATERIAL | DESCRIPTION |
|----------|---|
| EEB | EXTERIOR INSULATED FINISH SYSTEM (SMOOTH) |
| TC | TILT CONCRETE |
| FL | TILT CONCRETE FORM LINER - MAX 1" DEPTH |
| FPF | FABRICATED METAL PANELS |
| CP | CANOPY FRAME x 8" STEEL CHANNEL PAINTED |
| CD | CANOPY DECK x 8" DECK, NO PERFORATION |
| FME | FABRICATED METAL ELEMENTS |
- STOREFRONT / GLAZING KEY**
- | MATERIAL | COLOR |
|----------|------------------------------|
| FRAMES | CLEAR ANODIZED ALUMINUM |
| GLAZING | 1" INSULATED GRAY REFLECTIVE |
- INSULATED GLAZING SYSTEM SPECIFICATION**
- OLDCASTLE - 1" INSULATED GLAZING SYSTEM
U-FACTOR: 0.23
SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.71
OUTDOOR: 1/4" PPFG SOLARGOOL GRAY (SHE 9)
AIRSPACE: 1/2" (AIR FILL)
INDOOR: 1/4" PPFG SOLARBAN 6/0 ON CLEAR (SHE 9)
- 9" AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.
 - SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.
 - EEB DENOTES TEMPERING AT GLASS PER IBC 2406.4 HAZARDOUS LOCATIONS
- COLOR KEY**
- | KEY | NAME - DUNN EDWARDS
COLOR NAME |
|-----|-----------------------------------|
| ① | UNGLAZED ALUMINUM DE675 |
| ② | STEGITZ SILVER DE16/2 |
| ③ | METAL FRINGE DE7626 |
| ④ | CHARCOAL SKETCH DE7628 |
| ⑤ | SUPPER SUN DE8-405 |
| ⑥ | SILVER SETTING DE6359 |
- NOTICE OF ALTERNATE BILLING CYCLE**
- The contract above the owner to require the contractor to submit all drawings and billings cycles every two (2) weeks. A written description of each other billings cycle applicable to the project to include from the owner or the owner's designated agent (not the architect) to the owner and the owner's designated agent to provide the written description upon request.
- DISCREPANCIES**
- Discrepancies between these documents and those documents and files registered to the contract shall prevail in the event of a conflict.

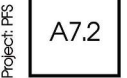
CAWLEY ARCHITECTS
730 N. 52nd St. Ste. 203
Phoenix, Arizona 85008
P 602.393.5060
CawleyArchitects.com

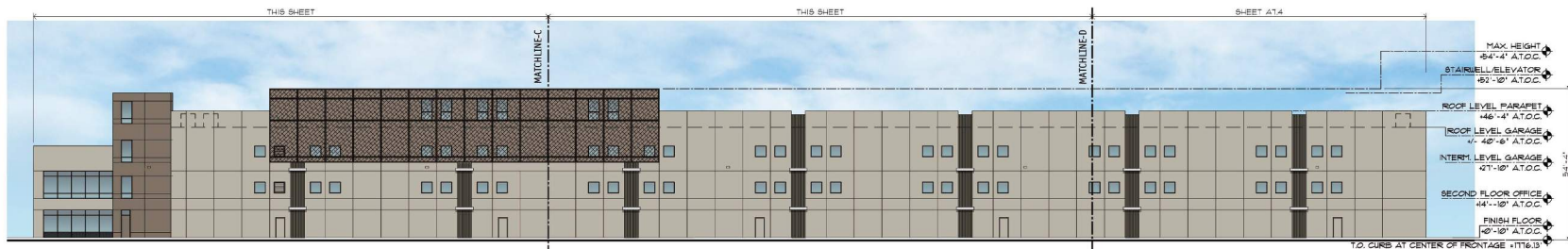
FLEET SERVICES
DESIGN BUILD GENERAL CONTRACTOR

PRECISION FLEET SERVICES
360 SOUTH SMITH ROAD
TEMPE ARIZONA
DATE: DR/PAD/USE PERMIT FINAL SUBMITTAL 05-07-2018

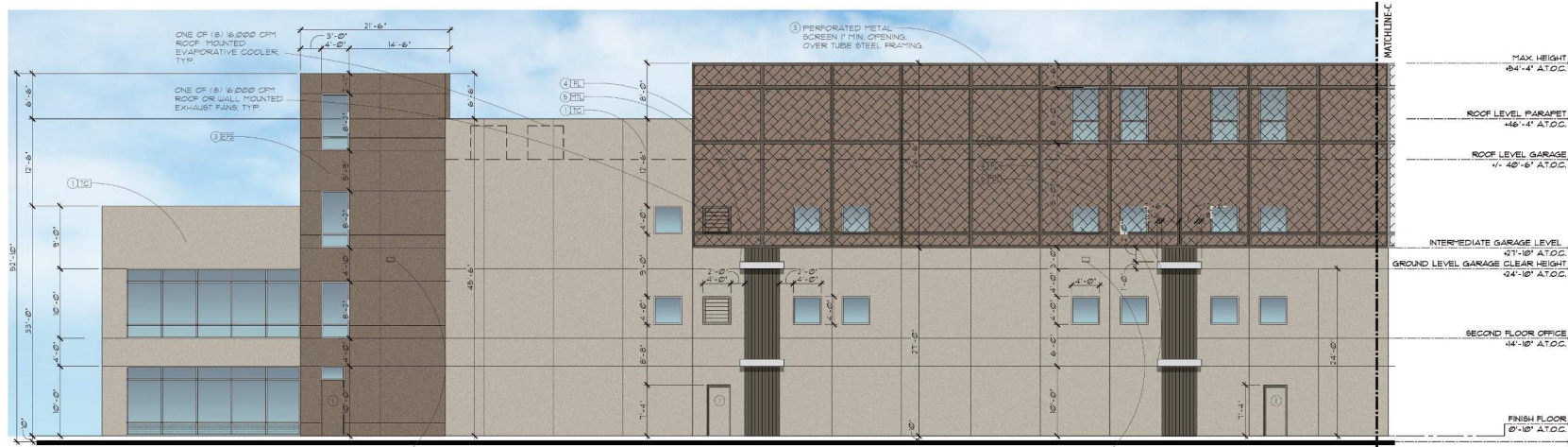
Project: PS

A7.1

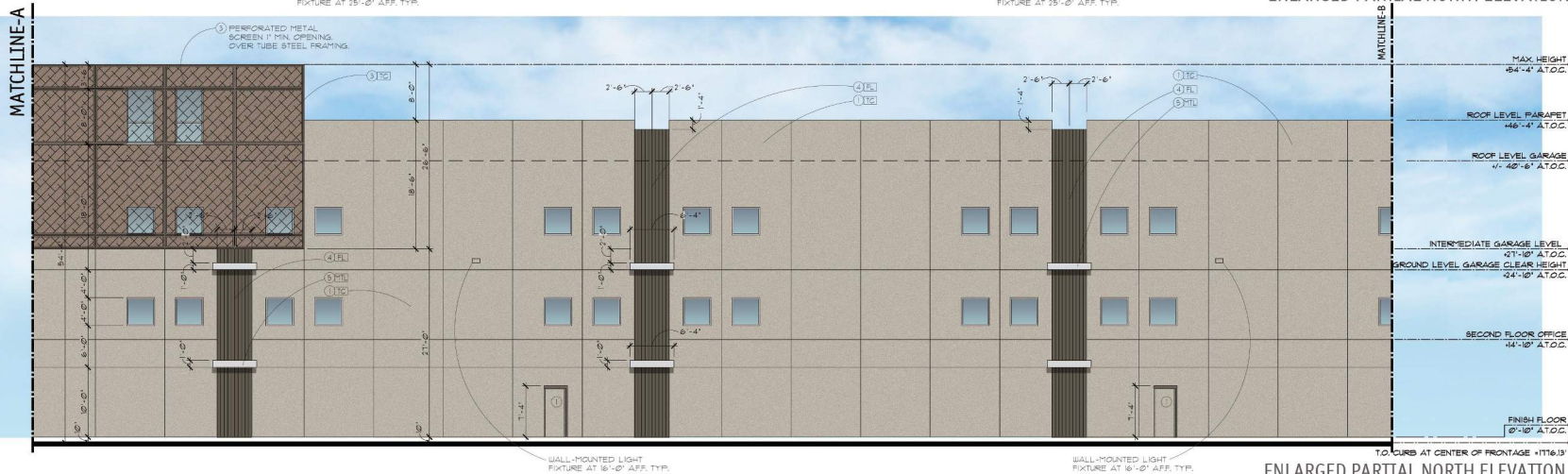




OVERALL NORTH ELEVATION



ENLARGED PARTIAL NORTH ELEVATION



ENLARGED PARTIAL NORTH ELEVATION

GENERAL NOTES

- SEE STRUCTURAL FOR Lintel INFORMATION.
- SEE DOOR SCHEDULE FOR DOOR HEIGHTS.
- SEE STRUCTURAL FOR CONTROL JOINTS.

MATERIAL SAMPLE APPROVAL

- PRIOR TO ORDERING, G.C. TO PROVIDE INDIVIDUAL SAMPLES OF ALL BUILDING COLORS AND MATERIALS FOR REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER (16" PAINTED CHU, ETC.).
- ALL INDIVIDUAL SAMPLES TO BE PRESENTED AT ONE TIME, ON-SITE IN SIZES OF NO LESS THAN 12" X 12".

MATERIAL KEY

MATERIAL	DESCRIPTION
EEB	EXTERIOR INSULATED FINISH SYSTEM (EIFS)
TC	TILT CONCRETE
FL	TILT CONCRETE FORM LINER - MAX 1" DEPTH
FM	FABRICATED METAL PANELS
CF	CANOPY FRAME - 8" STEEL CHANNEL, PAINTED
CD	CANOPY DECK - 8" DECK, NO PERFORATION
FMU	FABRICATED METAL ELEMENTS

STOREFRONT / GLAZING KEY

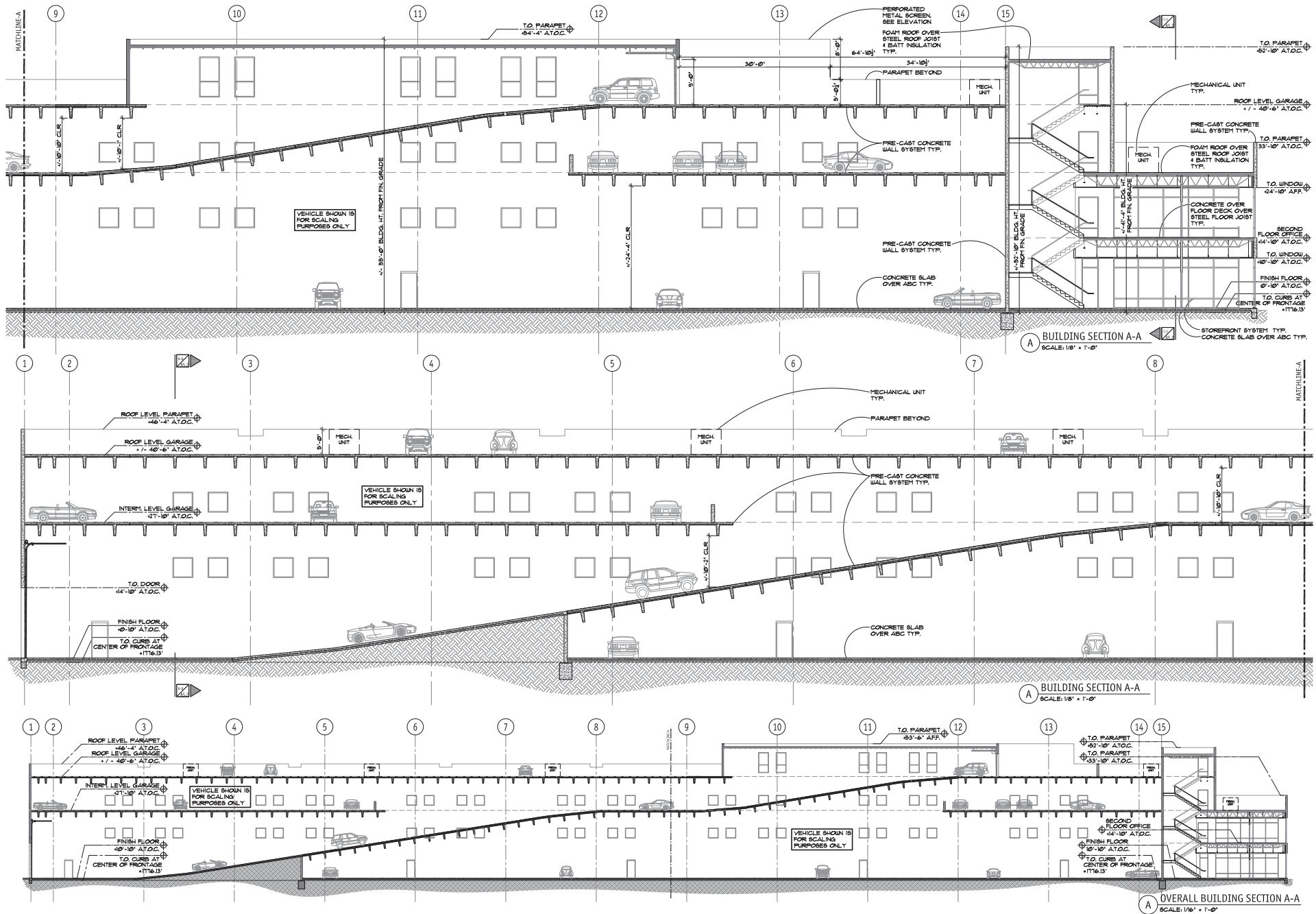
MATERIAL	COLOR
FRAMES	CLEAR ANODIZED ALUMINUM
GLAZING	1" INSULATED GRAY RESPECTIVE
INSULATED GLAZING SYSTEM SPECIFICATION	
OLDCASTLE - 1" INSULATED GLAZING SYSTEM	
U-FACTOR: 0.25	
SOLAR HEAT GAIN COEFFICIENT (SHGC): 0.17	
OUTBOARD: 1/4" PPG SOLARCOOL GRAY (88% 2)	
AIRSPACE: 1/2" (AIR FILL)	
INBOARD: 1/4" PPG SOLARBAN 60 ON CLEAR (88% 2)	
1. 8" AT WINDOW LOCATIONS INDICATES SPANDREL PANELS.	
2. SEE WINDOW TYPES FOR LOCATIONS OF TEMPERED GLASS.	
3. EEB DENOTES TEMPERING AT GLASS PER IBC 2408.4 HAZARDOUS LOCATIONS	

COLOR KEY

KEY	NAME - DUAN EDWARDS COLOR NAME
○	RECLAIMED WOOD DET625
○	STIEGLITZ SILVER DET612
○	METAL FRINGE DET626
○	CHARCOAL SKETCH DET628
○	BUTTER SUN DET629
○	SILVER SETTING DET633

MATERIAL	KEY
EXT. RAILING	○
BOLLARDS	○
GATES	○
SEBS	○
TRANSFORMER	○

- SEALANTS FOR PROJECTS TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
- PANTHER TO PROVIDE TWO COATS SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.
- G.C. IS RESPONSIBLE FOR SUBMITTING ALL PRE-MANUFACTURED MATERIALS AND COLORS TO ARCHITECT FOR REVIEW AND APPROVAL.
- G.C. TO OBTAIN APPROVAL FROM UTILITY COMPANY BEFORE PAINTING TRANSFORMER.





PRECISION
FLEET
SERVICES

360 SOUTH
SMITH ROAD
TEMPE
ARIZONA

DATE
D.R./P.A.D./ USE PERMIT
FINAL SUBMITTAL
05-07-2018

NOTICE OF ALTERNATE BILLING CYCLE:

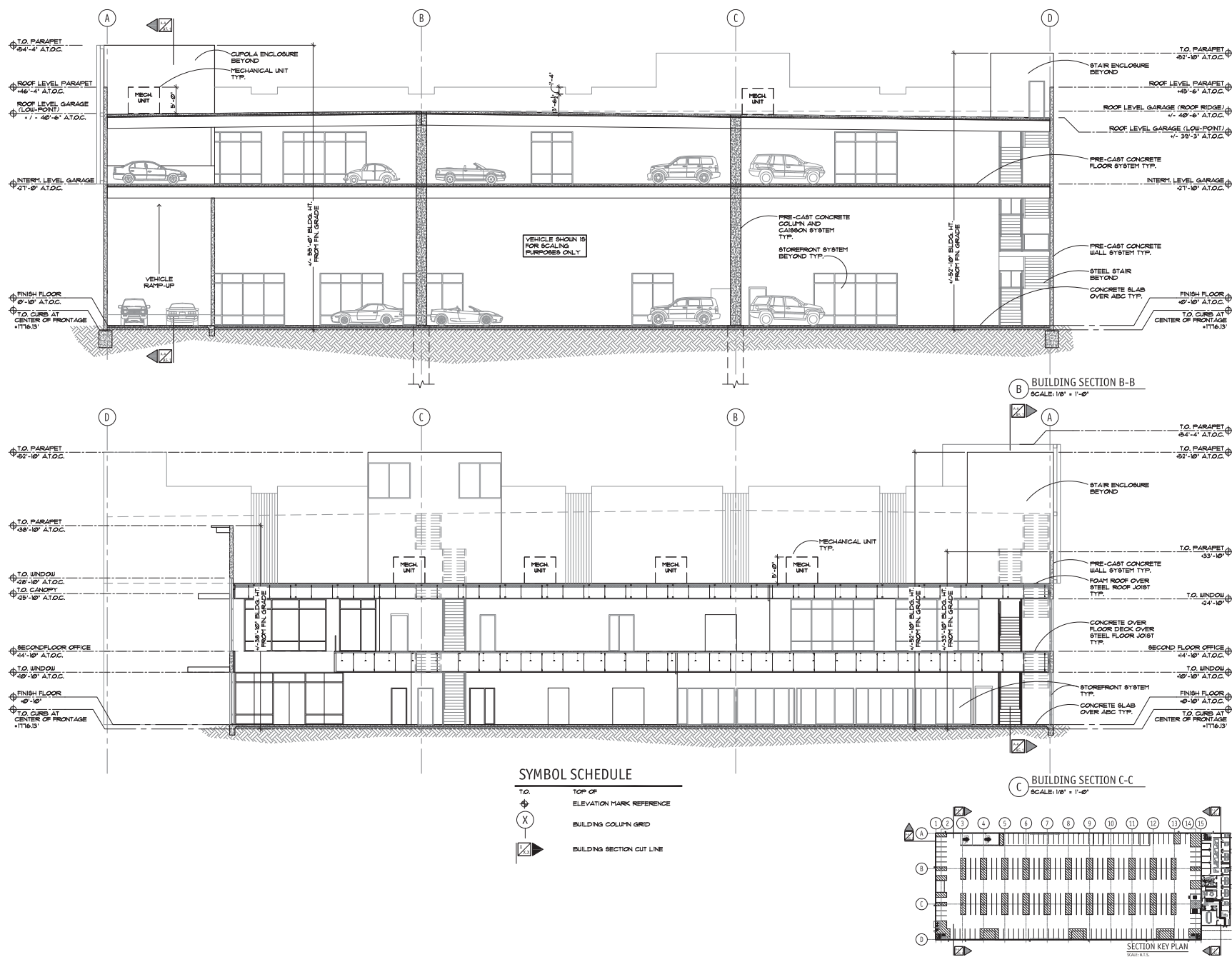
This contract allows the owner to request submission of bills or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide this within description upon request.

The architectural design and data presented in these documents is an instrument of service provided by Cowi Architects.

Discrepancies between bill amounts and these documents shall be reported to the General Contractor prior to commencement of work.

Project: PFS

A5.2





Precision Fleet Services

Tempe, Arizona

2018 . 03 . 22

This artist rendering is for conceptual design only and should not be referred to as a construction document.



GNNEM
DESIGN BUILD GENERAL CONTRACTOR

CAWLEY
ARCHITECTS



Precision Fleet Services

Tempe, Arizona

2018 . 03 . 22

This artist rendering is for conceptual design only and should not be referred to as a construction document.



GNNEM
DESIGN BUILD GENERAL CONTRACTOR

CAWLEY
ARCHITECTS



**PRECISION
 FLEET
 SERVICES**

360 SOUTH
 SMITH ROAD
 TEMPE
 ARIZONA

DATE
 D/R/P.A.D./ USE PERMIT
 SECOND SUBMITTAL
 04-10-2018

**NOTICE OF ALTERNATE BILLING
 CYCLE**

The contractor shall be bound to accept
 submission of billings or invoices in billing
 cycles other than 90 days. A written
 description of each other billing cycle
 application to the project is available from
 the owner or the owner's designated agent
 upon receipt of a written request and address
 on cover sheet or in the form of a
 designated agent shall provide the written
 description upon request.

The architectural design and data
 presented in these documents is the
 property of Cawley Architects, Inc.
 and shall not be used for any other
 project without the written consent of
 Cawley Architects, Inc.

All discrepancies found in these documents
 or conflicts between these documents and
 the contract shall be resolved by the
 owner or the owner's designated agent
 upon receipt of a written request and
 address on cover sheet or in the form of a
 designated agent shall provide the written
 description upon request.

Discrepancies between bid amounts and
 these documents shall be reported to the
 General Contractor prior to
 commencement of work.

Project: PFS

A7s



SMITH ROAD OVERALL STREET ELEVATION



THIRD STREET OVERALL ELEVATION

STREET ELEVATIONS

1" = 20'-0"
 0 10 20 30



① **Material:** Paint
Manuf: Dunn Edwards
Color: 'Reclaimed Wood'
Color Number: DET625

② **Material:** Paint
Manuf: Dunn Edwards
Color: 'Stieglitz Silver'
Color Number: DET612

③ **Material:** Paint
Manuf: Dunn Edwards
Color: 'Charcoal Sketch'
Color Number: DET628

④ **Material:** Paint
Manuf: Dunn Edwards
Color: 'Summer Sun'
Color Number: DE5405

⑤ **Material:** Paint
Manuf: Dunn Edwards
Color: 'Silver Setting'
Color Number: DE6359

FI **Material:** Aluminum Storefront
Manufacturer: Arcadia
Color: 'Clear'
Color Number: AC-2

ADDITIONAL MATERIALS

GI **Material:** Insulated Glazing
Manufacturer: PPG
Color: 'Gray Reflective'
 Refer to A7 Building Elevation
 Sheets for Glass specification
 and 12" x 12" sample

TP Concrete Tilt-up Panel

CF Canopy Frame



④ **CF**

① **EIFS**

③ **EIFS**

⑤ **MTL**

③ **FL**

③ **MTL**

② **TP**

① **TP**

③ **FL**

PRECISION FLEET SERVICES

360 S. SMITH RD. TEMPE, ARIZONA 85281

MARCH 26, 2018

GNNEM
 DESIGN BUILD GENERAL CONTRACTOR

CAWLEY
 ARCHITECTS

The Artist Rendering & Material Specifications are for conceptual design only and should not be referred to as a construction document - See A7 Building Elevation Sheets for actual specifications

To: Lee Jimenez, Senior Planner
Suparna Dasgupta, Principal Planner
City of Tempe

From: David W Fulk, Project Director
Cawley Architects

Subject: Precision Fleet Services-
PAD Overlay Submittal
360 S. Smith Road, Tempe, AZ

Date: May 7, 2018

Public Involvement Plan – Final Report for DPR180031 /PAD180006 /ZUP180025

Narrative

Cawley Architects, Ganem Construction and Precision Fleet services are requesting approval of a new, completely enclosed two (2) story garage, with roof level parking, to house vehicles for sale. The building and program for the project require an additional 20' of building height to maximize the presentation, storage and effective sales of these vehicles. Consequently, we are requesting a PAD Overlay to increase the approved building height for this lot, and this project, to be 55', as per ordinance definition, rather than 35'. We propose calculating the required bicycle parking for the warehouse portion under the vehicle sales/rental factors per Table 4-603E, which equates to 4 spaces minimum.

The project owner is Precision Fleet Services, a Tempe based auto sales company. The proposed design for the site is a two-story office structure attached to an enclosed three level parking garage. The architectural character and materials will be in conformance to the GID zoning and in character with the other light industrial buildings recently constructed in the immediate surrounds.

In addition to the PAD overlay, we are requesting a DPR approval, and a Use Permit. A Subdivision re-plot will be processed subsequently.

Meeting Format

The meeting was held as a group presentation with citizen question and response. This allowed all participants, including applicants, citizens, and staff, to hear the proposal and all comments and responses. No language translation was necessary.

Notification

57 Neighborhood Meeting Notices were mailed on Monday, March 26, 2018. The Signs were posted on March 27, 2018. Please refer to attached notification letter, sign text plan, the actual sign pictures, and posting affidavit, as well as the notification area map, and list of property owners, and registered Neighborhood and Home Owners Association

The Neighborhood Meeting was held on Wednesday, April 11, 2018 at 6p. It took place at the offices of Precision Fleet Services, at 1941 E. Third St. Tempe, AZ 85281. There was one participant, a Mr. David Leyvas, whom owns the properties located on lots APN 132-38-010 & 132-38-014 (both addressed at 1980 E. Fifth Street) immediately south of the proposed site. The other inquiry by phone was Mr. Leyvas's legal representative, Greg Loper of Earl, Curley & Lagarde

The proposed height is the primary issue the adjacent owners have with the design. It appeared that there was confusion on the actual height of the proposed building. Per current ordinance the maximum height of the building is 39', which includes a base height allowance of 35'-0" plus a 10% allowance. While most of the building is at 45' at the top of the vehicle screening, there was a participant's assumption, the whole perimeter of the building was proposed at 55'-0", which is not the case. We will be sending out, a 24x36" set of the building elevations and site plan to Mr. Leyvas. He can then accurately scale the height of the proposed building.

As significant changes occur, it is our plan to notify, by letter, the City of Tempe and the same property owners, and registered Neighborhood and Home Owners Associations per our previous mailing list. The letter will state specific changes.

P.I.P. Schedule

PIP to be submitted by March 5th, 2018.

City of Tempe DPR/ PAD and Use Permit review comments on March 13, 2018.

Final PAD submittal documents on March 26th.

The neighborhood meeting notification letters sent no later than March 26th.

The neighborhood meeting would have to take place no later than April 11th. (Neighborhood meeting to occur 16 days after sign posting and neighborhood notifications have been sent.)

The PAD hearing date will be determined by city of Tempe, in the coming weeks. (No less than 30 days after Neighborhood Meeting has occurred – May 11th)

CONTEXT PHOTOS

PRECISION FLEET SERVICES

364 SOUTH SMITH ROAD
Tempe, Arizona

Photos taken 02-15-2018



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24

WHEN RECORDED RETURN TO:
City of Tempe
Community Development Department
31 E. 5th Street
Tempe, AZ. 85281

**WAIVER OF RIGHTS AND REMEDIES
UNDER A.R.S. §12-1134**

This Waiver of Rights and Remedies under A.R.S. § 12-1134 (Waiver) is made in favor of the City of Tempe (City) by Precision Fleet Services, LLC (Owner).

Owner acknowledges that A.R.S. § 12-1134 provides that in some cases a city must pay just compensation to a land owner if the city approves a land use law that reduces the fair market value of the owner's property (Private Property Rights Protection Act).

Owner further acknowledges that the Private Property Rights Protection Act authorizes a private property owner to enter an agreement waiving any claim for diminution in value of the property in connection with any action requested by the property owner.

Owner has submitted Application No. PL180002 – **PRECISION FLEET SERVICES**, to the City requesting that the City approve the following:

_____ GENERAL PLAN AMENDMENT
_____ ZONING MAP AMENDMENT
_____ X PAD OVERLAY
_____ HISTORIC PRESERVATION DESIGNATION/OVERLAY
_____ USE PERMIT
_____ VARIANCE
_____ DEVELOPMENT PLAN REVIEW
_____ SUBDIVISION PLAT/CONDOMINIUM PLAT
_____ OTHER _____
(Identify Action Requested))

for development of the following real property (Property):

360 South Smith Road

A Parcel of land situated in the City of Tempe, County of Maricopa, State of Arizona described as follows:

The North half of the South half of the Northeast quarter of the Southwest quarter of Section 13,

Township 1 North, Range 4 East of the Gila and Salt River Base and Meridian,
Maricopa County, Arizona;

EXCEPT the West half of the North half of the South half of the Northeast quarter
of the Southwest quarter;

And EXCEPT that part of the North half of the South half of the Northeast quarter
of the Southwest quarter described as follows:

COMMENCING at the center of above Section 13; Thence Southerly
along the Easterly line of above said Northeast quarter of the Southwest
quarter, South $01^{\circ} 10' 10''$ West (assumed bearing) to the Southeast
corner of the South half of the North half of the Northeast quarter of the
Southwest quarter of above said Section 13, a distance of 652.68 feet, to
the POINT OF BEGINNING;

Thence continuing South $01^{\circ} 10' 10''$ West, a distance of 40.00 feet
to a point;

Thence North $88^{\circ} 40' 05''$ West to the Westerly line of above said
Northeast quarter of the Southwest quarter, a distance of 1314.47
feet;

Thence along the Westerly line of said Northeast quarter of the
Southwest quarter, North $01^{\circ} 07' 15''$ East to the Southwest corner
of the South half of the North half of the Northeast quarter of the
Southwest quarter of above said Section 13, a distance of 9.00
feet;

Thence North $89^{\circ} 56' 50''$ East, a distance of 1314.75 feet to the
POINT OF BEGINNING, as set forth in Decree recorded in Docket
4447, page 423, Maricopa County records;

And EXCEPT a strip of land 30.00 feet in width lying immediately South of a line
described as:

COMMENCING at the center of Section 13, Township 1 North, Range 4
East of the Gila and Salt River Base and Meridian; Thence Southerly
along the Easterly line of the Northeast quarter of the Southwest quarter, a
distance of 652.68 feet; Thence continuing South, a distance of 40.00 feet
to a point, said point being the POINT OF BEGINNING of the line
described herein;

Thence North $88^{\circ} 40' 05''$ West, a distance of 1314.47 feet to a
point on the West line of the said Northeast quarter of the

Southwest quarter, said point being the TERMINUS of the line described herein;

And EXCEPT a right-of-way dedication being that part of the North half of the South half of the Northeast quarter of the Southwest quarter of said Section 13 described in Docket 16498, page 277, Maricopa County Records as follows:

The East 33 feet of said North half; together with;

A 15-foot by 15-foot right-of-way triangle described as follows:

Commencing at the Southeast corner of the North half of the South half of the Northeast quarter of the Southwest quarter of said Section 13; Thence North $01^{\circ} 10' 10''$ East (assumed bearing) along the East line of said North half of the South half of the Northeast quarter of the Southwest quarter of said Section 13, a distance of 241.34 feet; Thence North $88^{\circ} 40' 05''$ West, 33.00 feet to the POINT OF BEGINNING:

Thence North $01^{\circ} 10' 10''$ East 15 feet to the South right-of-way line of 3rd Street;

Thence North $88^{\circ} 40' 05''$ West, 15 feet along said South right-of-way line;

Thence Southeasterly 21.18 feet to the POINT OF BEGINNING.

4
Attachment 55